"A Community For All Seasons"

Dexter Township

Zoning Board of Appeals

6880 Dexter-Pinckney Road
Dexter, MI 48130

Telephone: 734-426-3767
Fax: 734-426-3833
www.DexterTownship.org

AGENDA

December 5, 2023
6:00 pm

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Approval of Agenda**
4. **Approval of Minutes-** November 7, 2023
5. **Public Comment** *(Non-agenda Items)*

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6. **Public Hearing Procedure Review**
7. **Action Items**

Item #1

Introduction of the case

Petition Number:	(23-ZBA-006)
Applicant(s):	Bradley Devries on behalf of Corn Man, LLC
Project Description:	Construct a pavilion with enclosed walkways in excess of the maximum lot coverage for buildings
Petition Description:	*a) Request for variance from Section 16.12 requiring a maximum lot building coverage be 11,543 sq.ft.*
Property Location:	8540 Island Lake Road, D -04-36-400-002

a. **Conflict of Interest/Ex-parte Contact Review**
b. **Staff Presentation and Zoning Board of Appeals Member Questions**
c. **Petitioner Presentation and Zoning Board of Appeals Member Questions**
d. **Public Hearing** *(no public participation on agenda item after public hearing is closed)*
   i. Reading of letters into the record
   ii. Comments from public in attendance *(see Public Comment/Input Policy on the last page)*
e. **Zoning Board of Appeals deliberations and Standards of Review**
f. **Action on Petition-** Motions by the Zoning Board of Appeals

Item #2

Introduction of the case

Petition Number:	(23-ZBA-007)
Applicant(s):	Alan and Linda Selbert
Project Description:	Construct a 1.5 story home with a reduced waterbody setback
Petition Description:	*a) Request for variance from Section 16.34(A) requiring when there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings*
Property Location:	9586 Winston Rd. (D-04-02-401-019)

g. **Conflict of Interest/Ex-parte Contact Review**

h. **Staff Presentation and Zoning Board of Appeals Member Questions**

i. **Petitioner Presentation and Zoning Board of Appeals Member Questions**

j. **Public Hearing** *(no public participation on agenda item after public hearing is closed)*
   iii. Reading of letters into the record
   iv. Comments from public in attendance *(see Public Comment/Input Policy on the last page)*

k. **Zoning Board of Appeals deliberations and Standards of Review**

l. **Action on Petition-** Motions by the Zoning Board of Appeals

Item #3

Introduction of the case

Petition Number:	(23-ZBA-008)
Applicant(s):	Alan and Linda Selbert
Project Description:	Construct a 20' x 21.5' two-car garage addition with a reduced front yard setback
Petition Description:	*a) Request for variance from Section 7.07(3) requiring 25-foot local and private road setback*
Property Location:	9586 Winston Rd. (D-04-02-401-002)

m. **Conflict of Interest/Ex-parte Contact Review**

n. **Staff Presentation and Zoning Board of Appeals Member Questions**

o. **Petitioner Presentation and Zoning Board of Appeals Member Questions**

p. **Public Hearing** *(no public participation on agenda item after public hearing is closed)*
   v. Reading of letters into the record
   vi. Comments from public in attendance *(see Public Comment/Input Policy on the last page)*

q. **Zoning Board of Appeals deliberations and Standards of Review**

Action on Petition- Motions by the Zoning Board of Appeals

8. Public Comment *(Non-agenda Items)*

9. Concerns of Zoning Board of Appeals Members, Director of Planning and Zoning, and Recording Secretary

r. ZBA Memo from Township Planning Consultant

10. Adjournment

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Zoning Board of Appeals

6880 Dexter-Pinckney Road
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Telephone: 734-426-3767
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Brook Smith
Chairperson
Beth Filip
Vice Chairperson
Peter Maier
Secretary

Kathy Bradbury
Marty Straub

Don Darnell, *Alt.*
Vacant, *Alt.*

Janis Miller
Recording Secretary

REGULAR MEETING OF THE ZONING BOARD OF APPEALS
Tuesday November 7, 2023

Members present: Chairperson Brook Smith, Vice-Chairperson Beth Filip, Secretary Peter Maier, Marty Straub, and Kathy Bradbury. Absent: None.

Also present: Megan Masson-Minock, Planner; Ashley Cepeda, Zoning Administrator, and Janis Miller, Recording Secretary.

1. **Call to Order:** Chairperson Smith called the meeting to order at 6:01 PM.

2. **Pledge of Allegiance:** Recited by all.

3. **Approval of Agenda:**
   With no corrections or additions, the Chair deemed the agenda approved as circulated.

4. **Approval of Minutes:**
   Motion by Filip to approve the October 3, 2023 minutes as amended. Motion seconded by Straub. All ayes. Motion carried.

5. **Public Comment – Non-Agenda Items:** Opened at 6:04 PM. No public comments.

6. **Public Hearing Procedure:** Skipped as the Chair said it was on the back of the agenda. Chairperson Smith asked Zoning Officer Ashley Cepeda, if the public hearing procedures could be removed from the agenda and copies placed on the back table as well as on the public podium.

7. **Action Items:** None

8. **Public Comment:** Opened 6:09 PM. No public comments.

Not on the Agenda Discussion:

Planner Megan Masson-Minock, Carlisle Wortman, introduced herself and talked about Zoning Ordinance amendments. She stated that many of the Dexter Township Zoning required permits are not necessary. Megan also said that special land use and rezoning requests require a public hearing, everything else is an administrative function.

Maier: He stated that state law says if a site plan meets the requirements (in administrative review) it is approved.

Straub: The most urgent conundrum to correct is the wording "minimum" and "reasonable" in the ZBA decision criteria. The second urgent problem is the land size requirement regarding accessory

building size/height.
Maier: He suggested Ashley, Enforcement Officer, email the ZBA members when a meeting is planned (before the board packets go out).
Filip: There is a need of sufficient documentation that supports changing the Zoning Ordinance §20.06 (4). She also wanted clarification on how to communicate a problem to the Planner and the Board of Trustees. The Variance Guidebook on the Dexter Township website need to be updated.
Straub: He would like the date the hearings are noticed in the paper included in the ZBA Board packet. He also stated that to be reappointed the ZBA members must take the Citizen Planner Course, paid for by the township.

9. Concerns of ZBA Members, DPZ, and Recording Secretary: As stated above.

10. Adjournment

Chairperson Smith declared the meeting adjourned at 7:16 PM.

Respectfully submitted,

_____ _____

Peter Maier, Secretary Janis Miller, Recording Secretary

Documents regarding the agenda items can be obtained at the Township Hall during normal business hours, the Townships website: www.dextertownship.org and can be viewed on ew.livestream.com/dextertownship.org.

Petition Information:

Petition Number:	(23-ZBA-006)
Applicant(s):	Bradley Devries
Project Description:	Cornman Farms is a historic, multi-award winning event space, wedding venue, and culinary destination. The proposed scope looks to reconfigure and enhance the existing program. The primary scope includes replacing the tent structure with a much smaller permanent building and enclosing the walkway between the farmhouse and red barn.
Petition Description:	*a) Request for variance from Section 16.12 requiring a maximum lot coverage for buildings be 11,543 sq.ft.*
Property Location:	8540 Island Lake Rd. (D-04-36-400-002)

Property Information:

Existing Zoning:	Rural Residential (RR) *The Rural Residential District is to provide opportunities for relatively low-density residential uses in a manner that maintains, enhances, and preserves open spaces, including farmlands, woodlands, and wetlands that contribute to the rural character of the Township. Opportunities to continue the limited agricultural operations should be encouraged. Woodlands, wetlands, and water courses should be preserved. It is also the intent of the district to provide opportunities for passive and active recreational uses that are compatible with the natural character of the land and surrounding uses.*
Existing Land Use:	Special Event Facility
Future Land Use Map:	Special Planning Area #2
Area:	972,259.2 square feet, 22.32 acres

Zoning Information:

	North	East	South	West
Surrounding Zoning	*Rural Residential (RR)*	*N/A*	*Rural Residential (RR)*	*Rural Residential (RR)*
Surrounding Land Uses	*Single-family Residential*	*N/A*	*Single-family Residential*	*Single-family Residential*
Future Land-Use Map	*Rural Residential (RR)*	*N/A*	*Rural Residential (RR)*	*Rural Residential (RR)*

Project Narrative:
The subject property consists of an existing farmhouse, multiple barns, workshop, and event space. The applicant is proposing the addition of a pavilion in lieu of an existing commercial tent, as well as new walkways to connect to the pavilion.

Section 16.12 requires a maximum lot coverage for buildings be 11,543 sq.ft. for any total lot area over 5 acres. The applicant is requesting a variance from the maximum building coverage to allow a total building coverage of 24,325 sq.ft. The percentage of total building coverage would be 2.5%.

Applicable Land Use Standards:

The following table lists the requested variance for the proposed project and the Zoning Ordinance standard.

Ordinance Section	Required	Requested	Notes
16.12	*Max. 11,543 sq.ft.*	*24,325 sq.ft.*	*N/A*

Recognition of Nonconformities:
N/A

Other Department Comments:
N/A

Potential Conditions:
Potential conditions are developed prior to a public hearing and are intended to aid the Zoning Board of Appeals review. The Zoning Board of Appeals may adopt the above condition(s), adopt additional or other condition(s), or adopt no conditions if a variance is approved.

Attached Materials:

- Variance Application
- Plot Plan/Elevations/Images
- Survey/ Legal Description
- Decision Criteria Review
- Letters of Support

DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767
FAX: 734-426-3833
WWW.DEXTERTOWNSHIP.ORG

VARIANCE APPLICATION FORM

File #:	-ZBA-
Received on:	
Fee: $	
Receipt #:	

DEXTER TOWNSHIP Received NOV - 1 2023 PLANNING & ZONING

(1) **Applicant Information:** *(the person(s) applying for the variance(s))*	(2) **Owner Information:** *(the person(s) owning the property)*
a. ☐ Owner ☒ Agent for the Owner *(check one)*	a. ☐ Same as Applicant *(check if appropriate)*
b. Name(s) BRADLEY DEVRIES SLOWTIDE STUDIO, ARCHITECTS	b. Name(s) *(if different from applicant)* CORN MAN, LLC
c. Mailing Address 1145 W LONG LAKE ROAD, SUITE 110 BLOOMFIELD HILLS, MI 48302	c. Mailing Address *(if different from applicant's mailing address)* 8540 ISLAND LAKE ROAD DEXTER TOWNSHIP, MI 48130
d. Phone Number 248·891·2737	d. Phone Number *(if different from applicant's phone number)* 734·619·8100
e. Email BDV@SLOWTIDE.STUDIO	e. Email *(if different from applicant's email)* TMASON@ZINGERMANS.COM

(3) Property Information: *(property where the variance is being requested)*

a. Physical Address *(city and zip code not required)*
8540 ISLAND LAKE ROAD

b. Parcel/Tax ID Number(s)
04-36-400-002

c. Zoning District *(circle one)*
PL AG RC (RR) LR CU MHPR C-1

d. Size and nature of existing structures on and uses of the property:
THE CURRENT USE IS SPECIAL EVENT FACILITY, WHICH SHALL REMAIN. CURRENTLY SEVERAL BUILDINGS EXIST ON PROPERTY FROM SIMPLE AGRARIAN BUILDINGS TO A FARM HOUSE AND EVENT BARN. CURRENT BUILDING SIZE IS 22,472 INCLUDING TEMP. TENT STRUCTURE.

(4) Application Checklist: *Check all of the information that is included as part of this application. Items a-e are required for all variance applications.*

Item and Description	YES	NO	Attachment Number
a. ***Application.*** A completed variance application signed by the applicant and the property owner(s).	☒	☐	*n/a*
b. ***Application Fee.*** Cash or check to Dexter Township, as outlined in the current fee schedule.	☒	☐	*n/a*
c. ***Site Plan or Plot Plan.*** A complete plot or site plan, as outlined in §26.03 or §27.09 of the Zoning Ordinance. One (1) copy is required if the Township is able to make reproductions *(legible letter, legal or 11x17 sheets)*. Eight (8) copies are required if the Township is not able to make reproductions *(larger sheets, color prints, etc)*. Please contact staff if you have any questions before submitting this application.	☒	☐	
d. ***Legal Description.*** A legal description of the property for which the variance is being requested.	☒	☐	
e. ***Survey.*** A mortgage or boundary survey of the property for which the variance is being requested.	☒	☐	
f. ***Building Plans.*** Plans illustrating the floor plans, elevations, and sections of buildings or details of the structure. *Required for all variance applications involving a structure.*	☒	☐	
g. ***Sewer District Approval.*** Approval of the Multi-Lakes Water and Sewer Authority or the Portage Lakes Area Water and Sewer Authority. *Required for all properties located within a sewer district.*	☐	☐	N/A
h. ***Decision Criteria Answers.*** Answers to the decision criteria, if not fully completed in Section 7 of this application.	☒	☐	
i. ***Letters of Support.*** Letters of support or non-objection from neighboring property owners or signatures on a petition.	☐	☐	
j. ***Pictures.*** Pictures of the property and the area affected by the variance request.	☐	☐	
k. ***Other.*** Describe:	☐	☐	

(5) Project Description: *Describe the project in general- what is being built, how big is it, etc.*

CORNMAN FARMS IS A HISTORIC, MULTI-AWARD WINNING EVENT SPACE, WEDDING VENUE, AND CULINARY DESTINATION. THE PROPOSED SCOPE LOOKS TO RECONFIGURE AND ENHANCE THE EXISTING PROGRAM. THE PRIMARY SCOPE INCLUDES REPLACING THE TENT STRUCTURE W/ A MUCH SMALLER PERMENANT BUILDING AND ENCLOSING THE WALKWAY BETWEEN THE (E) FARMHOUSE AND (E) RED BARN.

VARIANCE APPLICATION FORM

File #: -ZBA-

(6) Variance(s) Description: *Describe the variance(s) being requested. Attach additional sheets if necessary.*

a. Ordinance Section	b. Requested	c. Required	d. Description of Variance Request
a) 16.12	24,325	11,543	REQUESTING AN INCREASE IN MAX LOT COVERAGE
b)			FOR BUILDINGS.
c)			
d)			
e)			
f)			
g)			

(7) Decision Criteria Answers: *Please describe how you think your variance(s) meets all of the following standards. Attach additional sheets if necessary. You will have an opportunity to provide additional information and address these decision criteria at the public hearing.*

a. The strict application of the terms of this Ordinance would constitute a practical difficulty. *§29.06(C)(1)*

THE ORDINANCE ALLOWS FOR A FLAT 11,543 SF FOR ALL LOTS OVER 5 ACRES IN THE RR DISTRICT, REGARDLESS OF LOT SIZE. THE PRINCIPAL LOT IS NEARLY 4.5 X THE 5 ACRE CAP TO THE TABLE AT 22.32 ACRES. IT IS MORE THAN 6X WHEN CONSIDERING ALL 3 PARCELS

b. The practical difficulty is due to some physical condition peculiar to the property involved. *§29.06(C)(2)*

THE PRINCIPAL LOT IS MUCH LARGER THAN THE EXTENT OF THE TABLE.

c. The practical difficulty is not self-created. *§29.06(C)(3)*

CORNMAN AND ITS AGENTS DID NOT CREATE THE PRACTICAL DIFFICULTY.

d. The variance is a reasonable amount necessary to mitigate the practical difficulty. *§29.06(C)(4)*

THE REQUEST WOULD BE FOR 24,325 SF OR 2.5% OF BUILDING COVERAGE, WHICH PERCENTAGE WISE IS LESS THAN HALF THE ALLOWABLE PERCENTAGE IN THE TABLE. FURTHERMORE, ALL NEW STRUCTURES ARE FURTHER FROM LOT LINES THAN (E) STRUCTURES.

e. Approval of the variance will not be injurious to the public health, safety, and welfare. *§29.06(C)(5)*

THERE WILL BE NO IMPACTS ON THE PUBLIC HEALTH, SAFETY, AND WELLFARE.

f. Approval of the variance will not affect the use or value of the adjacent properties or the area in a substantially adverse manner. *§29.06(C)(6)*

THE PROPOSED STRUCTURES WILL BE LOCATED FURTHER FROM LOT LINES THAN CURRENT STRUCTURES AND THE TEMPORARY TENT, WHICH IS AN EYESORE, WILL NOT BE ERECTED AGAIN AFTER CONSTRUCTION IS COMPLETE; THEREFORE NO NEGATIVE AFFECT ON NEIGHBORING PROPERTY.

g. Approval of the variance is consistent with the intent and purpose of this Ordinance. *§29.06(C)(7)*

YES, BECAUSE THE ALLOWABLE MAX BUILDING COVERAGES IN THE ORDINANCE ARE MUCH GREATER ON A PERCENTAGE BASIS THAN OUR PROPSED INCREASE.

h. ☐ I prefer not to share these decision criteria answers with the Zoning Board of Appeals members.

VARIANCE APPLICATION FORM

File #: -ZBA-

(8) Applicant(s) Affidavit: *(to be signed and dated by the applicant)*

- *I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.*
- *I acknowledge that approval of a variance only grants that which was presented to the Zoning Board of Appeals.*
- *I acknowledge that I have received and reviewed the Dexter Township "Variance Guide" booklet.*
- *I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.*
- *I understand that I must post the public notice sign and mark the location of proposed structure and lot corners and lot lines of my lot that are within 100 feet of the proposed structure at least 15 days before the public hearing date.*
- *I understand that the house or property must be marked with the street address clearly visible from the roadway.*
- *I understand that a Zoning Permit is required prior to construction if a variance is granted.*

Applicant's Signature — *Date* 10.31.2023.

Applicant's Signature — *Date*

(9) Property Owner(s) Affidavit: *(to be signed and dated by the property owner(s) if the applicant is not the property owner- it should be signed by all property owners.)*

I, TABITHA MASON, *hereby state that I am the owner of the property described in this application and that I have authorized* BRADLEY DEVRIES *to act as my agent for the purpose of obtaining the variance(s) described in this application.*

X T. Mason — *Property Owner's Signature* — *Date* 10.31.23

Property Owner's Signature — *Date*

(10) Administrative Section:

☐ **Request Approved**
(List conditions- if any.)

☐ **Request Denied**
(List reasons.)

☐ **Request Amended**
New file #

Date Submitted:

CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER - MICHIGAN - 48130

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS
10 - 31 - 2023

1. **DO NOT SCALE DRAWINGS.** CONSULT OWNER IF DIMENSIONAL QUESTION ARISES.
2. CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.
3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES/LAWS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.
4. ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARD, FITTING, AND BLOCKING SHALL BE PRESSURE TREATED/UL CERTIFIED NON-COMBUSTIBLE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE.
6. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENDING WORK OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
7. COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.
8. WHERE INTERFACES DEVELOP, NOTIFY OWNER FOR RESOLUTION OF CONFLICT.
9. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK ON ALL SHEETS WITHIN, NOT JUST SHEETS NAMED IN ACCORDANCE WITH TRADE NAME.
10. ALL DRAWINGS WITHIN SET ARE SET ON ARCH D (24" X 36") PAPER.

PROJECT NOTES 12

12	9	6	3
11	8	5	2
10	7	4	1

USE THE SHEET INDEX GRID AS A REFERENCE TO LOCATE DRAWINGS ON INDIVIDUAL SHEETS WITHIN THE SET.

SHEET INDEX 11

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS	(MRCEB)
2015 MICHIGAN MECHANICAL CODE	(MMC)
2018 MICHIGAN PLUMBING CODE	(MPC)
2017 NATIONAL ELECTRIC CODE, WITH PART 8 AMMENDMENTS	(NEC)
2013 STANDARD, ASHRAE 90.1	
2009 STANDARD, ANSI A117.1	

APPLICABLE CODES 8

ZINGERMAN'S CORNMAN FARMS IS A HISTORIC, MULTI-AWARD WINNING EVENT SAPCE, WEDDING VENUE, AND CULINARY DESTINATION.

THE EXISTING PROPERTY PROMINENTLY FEATURES A GREEK REVIVAL FARMHOUSE ORIGINALLY BUILT IN 1834, A HISTORIC RED BARN ORIGINAL CONSTRUCTED IN 1837, SEVERAL AGRICULTURAL BUILDINGS, EXTENSIVE GARDENS, AND PICTURESQUE VISTAS, ALL ON A WORKING FARM.

THE PROPSED SCOPE LOOKS TO RECONFIGURE AND ENHANCE THE EXISTING PROGRAM THROUGH SIX MAJOR ELEMENTS, ALONG WITH THE REQUISITE MINOR SCOPE TO CREATE A COHESIVE AND FUNCTIONAL END PRODUCT. THOSE SIX MAJOR ELEMENTS ARE AS FOLLOWS:

1. AN ENCLOSED WALKWAY FROM THE FARMHOUSE TO THE RED BARN, ENCAPSULATING THE EXISTING SMOKER
2. A NEW SERVICE FOCUSED ADDITION TO THE LOWER LEVEL OF THE RED BARN
3. A NEW PAVILION AND PATIO TO THE SOUTHWEST OF THE RED BARN FOR YEAR-ROUND CEREMONIES
4. A NEW GARDEN AMPITHEATRE TO THE WEST OF THE RED BARN FOR OUTDOOR CEREMONIES
5. A NEW COVERING OVER THE EXISTING WALKWAY FROM THE TRAFFIC CIRCLE TO THE RED BARN
6. CONVERSION OF A PORTION OF THE EXISTING STORAGE BARN TO A PRIVATE GROOM'S SUITE.

THE SCOPE IS TO INCLUDE THE NECESSARY MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL UPGRADES, INCLDUING EXPANSION OF THE EXISTING STORMWATER RETENTION SYSTEM AND OTHER LANDSCAPING REQUIREMENTS. THE PROJECT WILL HAVE NO NEGATIVE IMPACTS ON THE ENVIRONMENT.

THE PROPOSED SCOPE WILL NOT INCLUDE ANY MODIFICATIONS OR ADDITIONS TO THE EXISTING ACCESS DRIVES OR PARKING ACCOMODATIONS.

THE PROPOSED SCOPE WILL REQUIRE A VARIANCE TO INCREASE THE ALLOWABLE LOT COVERAGE PERCENTAGE OF BUILDINGS. THE REQUEST WILL INCLUDE ADDITIONAL SQUARE FOOTAGE TO ACCOMODATE FUTURE EXPANSION.

AT THIS TIME, IT IS PROPOSED THAT CONSTRUCTION WILL TAKE PLACE IN THE SPRING OF 2024 AND WILL BE COMPLETED IN A SINGLE PHASE OVER A 12 MONTH PERIOD.

PROJECT DESCRIPTION 5

G- 0.01	TITLE SHEET
G- 0.02	GENERAL NOTES
G- 0.03	CODE & ORDINANCE REVIEW
G- 0.05	SCHEDULES - PROJECT
C- 1.01	PROPOSED SITE PLAN - OVERALL, ARCHITECTURAL
C- 1.02	PROPOSED SITE PLAN - SCOPE, ARCHITECTURAL
C-1	COVER SHEET (STONEFIELD ENGINEERING)
C-2	OVERALL SITE PLAN (STONEFIELD ENGINEERING)
C-3	DEMOLITION PLAN (STONEFIELD ENGINEERING)
C-4	SITE PLAN (STONEFIELD ENGINEERING)
C-5	GRADING PLAN (STONEFIELD ENGINEERING)
C-6	STORMWATER MANAGEMENT & UTILITY PLAN
C-7	LANDSCAPING PLAN (STONEFIELD ENGINEERING)
C-8	CONSTRUCTION DETAILS (STONEFIELD ENGINEERING)
C-9	ALTA / NSPS LAND TITLE SURVEY, 1 OF 4 (KEM-TEC)
C-10	ALTA / NSPS LAND TITLE SURVEY, 2 OF 4 (KEM-TEC)
C-11	ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)
C-12	ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)
A- 1.00	FLOOR PLAN - LOWER LEVEL
A- 1.01	FLOOR PLAN - FIRST FLOOR
A- 1.02	FLOOR PLAN - SECOND FLOOR & BASEMENT
A- 1.40	ROOF PLAN
A- 2.01	ELEVATIONS - EXTERIOR
A- 2.02	ELEVATIONS - EXTERIOR
A- 2.03	ELEVATIONS - EXTERIOR
ES- 101	ELECTRICAL SITE PLAN (WPF ENGINEERING)

SHEET LIST 1

ARCHITECT

SLOWTIDE.STUDIO, ARCHITECTS
1145 W. LONG LAKE ROAD, SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302

CONTACT - BRADLEY DEVRIES
T - 248 - 891 - 2737
E - BDV @ SLOWTIDE.STUDIO

PROPERTY OWNER

CORN MAN, LLC
8540 ISLAND LAKE ROAD
DEXTER TOWNSHIP - MICHIGAN - 48130

CONTACT - TABITHA MASON
T - 989 - 284 - 1139
E - TMASON @ ZINGERMANS.COM

GENERAL CONTRACTOR

TO BE DETERMINED

SURVEYOR

KEM-TEC
22556 GRATIOT AVENUE
EASTPOINTE - MICHIGAN - 48021

CONTACT - RENATA GARBARINO
T - 586 - 772 - 2222
E - RGARBARINO @ KEMTEC-SURVEY.COM

STRUCTURAL ENGINEER

WAGNER ENGINEERING, LLC
210 N MILL STREET
PLYMOUTH - MICHIGAN - 48170

CONTACT - ADAM WAGNER
T - 734 - 392 - 7034
E - ADAM @ WAGNERENGINEERING.COM

CIVIL ENGINEER

STONEFIELD ENGINEERING
607 SHELBY STREET, SUITE 200
DETROIT - MICHIGAN - 48226

CONTACT - MICHAEL GOLD
T - 949 - 350 - 0508
E - MGOLD@STONEFIELDENG.COM

MECHANICAL / PLUMBING ENGINEER

GREENPATH DESIGN
139 W. LIBERTY STREET
PLYMOUTH - MICHIGAN - 48170

CONTACT - KELLY SUGG
T - 248 - 310 - 7286
E - KSUGG @ GREENPATH.DESIGN

ELECTRICAL ENGINEER

WPF ENGINEERING, LLC
8200 PEACHTREE AVENUE
ROCKFORD - MICHIGAN - 49341

CONTACT - MIKE JOHNSON
T - 616 - 835 - 0459
E - MJOHNSON @ WPF-ENGINEERING.COM

PROJECT DIRECTORY 10

PROPERTY INFORMATION:

PARCEL 1 (SUBJECT)

ADDRESS	8540 ISLAND LAKE ROAD, DEXTER TOWNSHIP
PARCEL ID	04-36-400-002
ZONING	RURAL RESIDENTIAL
LOT AREA	972,527 SF, 22.32 ACRES

PARCEL 2 (SUPPLEMENTARY)

ADDRESS	8510 ISLAND LAKE ROAD, WEBSTER TOWNSHIP
PARCEL ID	03-31-300-003
ZONING	R-1 RURAL RESIDENTIAL
LOT AREA	37,808 SF, 0.86 ACRES

PARCEL 3 (SUPPLEMENTARY)

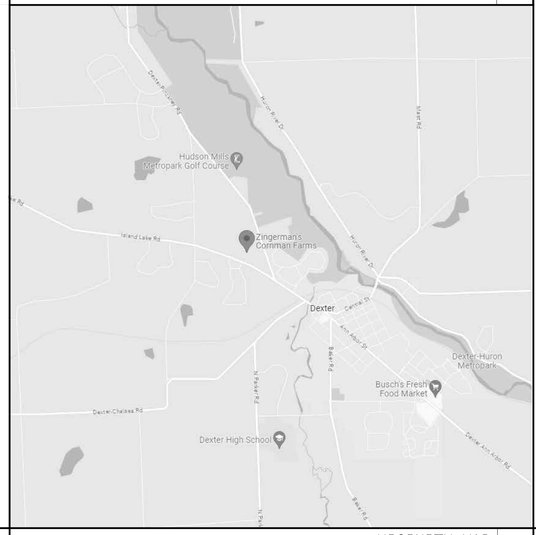
ADDRESS	8474 ISLAND LAKE ROAD, WEBSTER TOWNSHIP
PARCEL ID	03-31-300-011
ZONING	R-1 RURAL RESIDENTIAL
LOT AREA	129,977 SF, 2.98 ACRES

TOTALS *

PROPERTY AREA	1,140,312 SF,26.16 ACRES
NUMBER OF BUILDINGS	10
BUILDING AREA	26,075 SF (2.29%) **
IMPERVIOUS SURFACE AREA	110,820 SF (9.72%) **

* TOTALS ARE REFLECTIVE OF EXISTING, NEW, & FUTURE SCOPE
** SEE SHEET G-0.03 FOR MORE DETAILED CODE REVIEW INFORMATION

PROJECT INFORMATION 7



VICINITY MAP 4
NOT TO SCALE

SLOW TIDE

SLOWTIDE.STUDIO, ARCHITECTS
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

TITLE SHEET
SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
NO. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

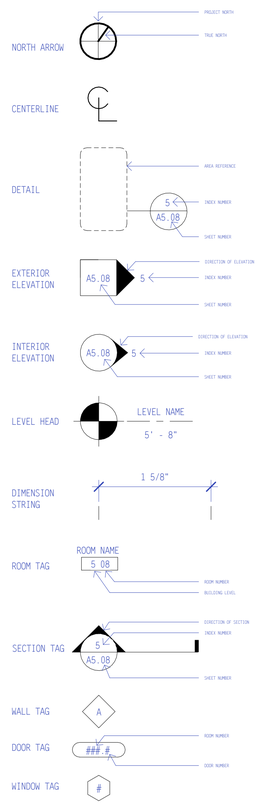
G-0.01

/	AND
>	ANGLE
@	AT
+	HEIGHT ABOVE
ABV	ABOVE
ADJ	ADJUSTABLE
AP	ACCESS PANEL
APPROX	APPROXIMATE
BB	BASEBOARD
BEL	BELOW
BO	BOTTOM OF
CB	CASEWORK
CMU	CONCRETE MASONRY UNIT
D	DEPTH
DIM	DIMENSION
DN	DOWN
DW	DISHWASHER
(E)	EXISTING
E	EAST
EF	EXHAUST FAN
ELEC	ELECTRIC
EP	ELECTRICAL PANEL
EQ	EQUAL
EXT	EXTERIOR
FC	FAUCET
FD	FLOOR DRAIN
FL	FLOOR
FF	FINISH FLOOR
GA	GAUGE
GD	GARBAGE DIOSPOSAL
GR	GRADE
GYP	GYPSUM WALLBOARD
H	HEIGHT
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
INCL	INCLUDE
INT	INTERIOR
LT	LIGHT
LV	LAVATORY
MAX	MAXIMUM
MIN	MINIMUM
MR	MIRROR
MT	METAL
N	NORTH
O.C.	ON CENTER
PD	PAPER DISPENSER
PT	PAINT
RCP	REFLECTED CEILING PLAN
RF	REFRIGERATOR
REF	REFERENCE
RK	RACK
S	SOUTH
SF	SQUARE FOOTAGE
SK	SINK
SIM	SIMILAR
SP	SPEAKER
SPEC	SPECIFIED
ST	STONE
TL	TILE
TO	TOP OF
TP	TOILET PAPER
TV	TELEVISION
TYP	TYPICAL
VH	VENTILATION HOOD
VIF	VERIFY IN FIELD
W	WEST
W	WIOTH
WD	WOOD
WH	WATER HEATER

ABBREVIATIONS, TYP. 7

- ASPHALT PAVING
- CONCRETE
- GRAVEL
- GRASS / EARTH
- MOSAIC TILE
- SQUARE TILE (VARIOUS)
- MASONRY
- GYPSUM
- CENTERLINE
- LOT LINE
- HIDDEN, ABOVE, BELOW
- COLD WATER SUPPLY (SIZED PER CODE)
- HOT WATER SUPPLY (SIZED PER CODE)
- SANITARY SEWER (SIZED PER CODE)

LEGEND - PROJECT 4



SYMBOLS 1

SLOW TIDE

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GENERAL NOTES

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
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LOT MINIMUMS & SETBACK REQUIREMENTS

LOT MINIMUMS:

MINIMUM LOT AREA	2 ACRES
MINIMUM LOT WIDTH	150'

EXISTING LOT DIMENSIONS:

LOT AREA	22.32 ACRES	(COMPLIES)
LOT WIDTH	1371.07'	(COMPLIES)

REQUIRED SETBACKS:

FRONT YARD SETBACK (ISLAND LAKE ROAD, PAVED)	80'
SIDE YARD SETBACK	15'
REAR YARD SETBACK	30'
OUTDOOR DINING SETBACK (ANY LOT LINE)	100'

PROPOSED SETBACKS:

FRONT YARD SETBACK (ISLAND LAKE ROAD, PAVED)	213' - 6"	(COMPLIES)
SIDE YARD SETBACK, EAST	0' - 0"	(EXISTING NON-CONFORMITY)
SIDE YARD SETBACK, WEST	996' - 4"	(COMPLIES)
REAR YARD SETBACK	127' - 6"	(COMPLIES)
OUTDOOR DINING SETBACK (ANY LOT LINE)	185' - 8"	(COMPLIES)

LOT MINIMUMS & SETBACK REQUIREMENTS | 3

BUILDING ORIENTATION:

THE PROPOSED PAVILION IS ORIENTED AT A 45-DEGREE ANGLE TO ISLAND LAKE ROAD, MAINTAINING THE RELATIONSHIP THE (E) RED BARN HAS TO ISLAND LAKE ROAD. DUE TO THIS ORIENTATION, AND RELATIONSHIP TO THE PROPERTY'S MAIN ENTRANCE AND FARMHOUSE TO THE EAST, THE SOUTHEAST FACING FACADE OF THE PROPOSED PAVILION IS CONSIDERED THE PRIMARY FACADE AND STREET-FACING . SIMILARILY, THE NORTHWEST FACADE OF THE PROPOSED PAVILION FACES THE OFF-STREET PARKING AND IS CONSIDERED THE SECONDARY FACADE. THE SOUTHWEST FACADE. IS GENERALLY OBSUCRED FROM VIEW FROM ISLAND LAKE ROAD BY THE (E) WILLOW GARDEN AND NEW PROPOSED LANDSCAPING.

BUILDING ORIENTATION | 5

OFF-STREET PARKING REQUIREMENTS:

PER TABLE 18.1, SCHEDULE OF OFF-STREET PARKING AND QUEUING SPACES, A SPECIAL EVENT FACILITY REQUIRES:

1 PARKING SPACE FOR EVERY 2 SEATS OF CAPACITY, PLUS 1 PARKING SPACE PER EMPLOYEE.

THE CAPACITY OF THE LARGEST EVENT WILL BE 75 GUESTS, WITH 15 STAFF MEMBERS.

THEREFORE, 53 PARKING SPACES ARE REQUIRED .

CURRENTLY, THE DEXTER TOWNSIP LOT HAS 126 PARKING SPACES AND AN ADDITIONAL 15 PARKING SPACES ARE PROVIDED ON THE WEBSTER TOWNSHIP LOTS. WHEN INCLUDING ALL PARKING SPACES FOR THE FACILITY (141 PARKING SPACES), 87 PARKING SPACES ABOVE THE MINIMUM REQUIREMENT ARE PROVIDED.

AS A RESULT, *NO ADDITIONAL PARKING IS BEING PROVIDED* .

ADDITIONALY, SINCE NO CHANGES ARE PROPOSED TO THE EXISTING OFF-STREET PARKING, QUEUING SPACES, MANUEUVERING LANES, OR DRIVEWAYS, T *HE APPLICANT SEEKS APPROVAL FOR CONTINUED USE OF AN ALTENATE GRAVEL SURFACE AND WILL COMPLETE THE REQUIRED AGREEMENT* .

OFF-STREET PARIKING REQUIREMENTS | 4

LOT COVERAGE INFORMATION:

LOT INVENTORY:	ACREAGE	SQUARE FOOTAGE
DEXTER TOWNSHIP (04-36-400-002)	22.32	972,527 SF
WEBSTER TOWNSHIP (03-31-300-003)	00.86	37,808 SF
WEBSTER TOWNSHIP (03-31-300-011)	02.98	129,977 SF
TOTALS	**26.16**	**1,140,312 SF**
WEBSTER TOWNSHIP TOTALS	03.84	167,785 SF

BUILDING INVENTORY:	DEXTER TOWNSHIP	WEBSTER TOWNSHIP	TOTALS
(EXISTING) FARMHOUSE	4,074 SF		4,074 SF
(EXISTING) RED BARN	2,042 SF		2,042 SF
(EXISTING) SMOKER	120 SF		120 SF
(EXISTING) STORAGE BARN	1,684 SF		1,684 SF
(EXISTING) SHED	178 SF		178 SF
(EXISTING) GOAT BARN	4,952 SF		4,952 SF
(EXISTING) HOOP HOUSE	3,692 SF		3,692 SF
(EXISTING) WOODSHOP	764 SF	1,466 SF	2,230 SF
(EXISTING) ROOT CELLAR		284 SF	284 SF
PROPOSED ENCLOSED WALKWAY ADDITION	1,105 SF		1,105 SF
PROPOSED RED BARN ADDITION	369 SF		369 SF
PROPOSED PAVILLION ADDITION	1,180 SF		1,180 SF
PROPOSED COVERED WALKWAY ADDITION	942 SF		942 SF
PROPOSED FUTURE ADDITIONS	3,223 SF		3,223 SF
TOTALS	**24,325 SF ***	**1,750 SF**	**26,075 SF**

* PER TABLE 16.3, THE MAXIMUM ALLOWABLE LOT COVERAGE FOR LOTS GREATER THAN FIVE (5) ACRES, IS 11,543 SF. (DOES NOT COMPLY)

LOT COVERAGE, BUILDINGS:	TOTAL SF	PERCENTAGE
DEXTER TOWNSHIP	24,325 SF **	2.50 %
WEBSTER TOWNSHIP	1,750 SF	1.04 %
TOTALS	**26,075 SF**	**2.29 %**

** PROJECT REQUESTS VARIANCE TO INCREASE LOT COVERAGE FOR ALL BUILIDNGS BY 12,782 SF TO A TOTAL OF 24,325 SF.

LOT COVERAGE, IMPERVIOUS SURFACES:	TOTAL SF	PERCENTAGE
DEXTER TOWNSHIP	103,313 SF	10.62 % ***
(EXISTING) ASPHALT	5,321 SF	
(EXISTING) CONCRETE	2,486 SF	
(EXISTING) GRAVEL	67,734 SF	
(EXISTING) ROOF OVERHANGS	1,150 SF	
PROPOSED CONCRETE (OR SIMILAR)	1,177 SF	
PROPOSED GRAVEL	568 SF	
PROPOSED ROOF COVERINGS	172 SF	
(E), (P), & FUTURE BUILDINGS	24,235 SF	
WEBSTER TOWNSHIP	7,507 SF	4.47 %
(EXISTING) ASPHALT	2,220 SF	
(EXISTING) CONCRETE	228 SF	
(EXISTING) GRAVEL	3,254 SF	
(EXISTING) ROOF OVERHANGS	55 SF	
(EXISTING) BUILDINGS	1,750 SF	
TOTALS	**110,820 SF**	**9.72 %**

*** PER SECTION 6.02, THE MAXIMUM LOT COVERAGE FOR ALL IMPERVIOUS SURFACES IS 20%. (COMPLIES)

LOT COVERAGE INFORMATION | 1

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CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

CODE & ORDINANCE REVIEW

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
NO. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

G-0.03

ITEM	SPECIFICATION	
MT-1 BRAKE METAL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR ALUMINUM BREAK METAL DARK BRONZE OR BLACK ANODIZED TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER PROVIDE APPROPRIATE GAUGE PER APPLICATION
MT-2 DECORATIVE STEEL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PAINTED STEEL DARK BRONZE OR BLACK TO MATCH STOREFRONT SYSTEMS SEMI-GLOSS PROVIDE APPROPRIATE PRIME & FINISH COATS FOR EXTERIOR EXPOSURE
MT-3 METAL ROOF	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR HIGH RIB INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH SIDING & ENERGY CODE
PT-1 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH RED BARN FASCIA. TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-2 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH FARMHOUSE. TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-3 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "BLACK OR DK BRONZE", TO MATCH PAVILION. TO BE CONFIRMED BY ARCH. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-4 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "BEIGE", TO MATCH RED BARN DOORS. TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-5 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "RED", TO MATCH STORAGE BARN. TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
SD-1 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR RECLAIMED VERTICAL BARN SIDING TO MATCH RED BARN TO MATCH RED BARN TO MATCH RED BARN
SD-2 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR HORIZONTAL CLAPBOARD SIDING TO FARMHOUSE TO MATCH FARMHOUSE TO MATCH FARMHOUSE ALIGN TO FARMHOUSE
SD-3 STONE VENEER	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR STONE VENEER TO MATCH RED BARN, SMOKER TO MATCH RED BARN, SMOKER TO MATCH RED BARN, SMOKER
SD-4 METAL SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR RIBBED INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH ROOF & ENERGY CODE
SN-1 ASPHALT SHINGLE	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR DIMENSIONAL ASPHALT SHINGLE "DARK GREY" TO MATCH (E) ASHPALT SHINGLE ROOFS PER MANUFACTURER PROVIDE FULL ICE AND WATER SHIELD

NOTE: ALL FINISHES SUBJECT TO CHANGE. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS

SCHEDULE - FINISHES | 10

ITEM	QUANTITY	DESCRIPTION	MANUFACTURER	MODEL	COLOR TEMP	FINISH	POWER REQ.	NOTES
LT-1	4	PAVILION SCONCE	VISUAL COMFORT & CO	PITCH SINGLE OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 31 W	CONFIRM MOUNTING HEIGHT WITH ARCHITECT
LT-2	2	FARMHOUSE SCONCE	VISUAL COMFORT & CO	ASHE 8 OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 18 W	CONFIRM MOUNTING HEIGHT WITH ARCHITECT
LT-3	3	RED BARN SCONCE	VISUAL COMFORT & CO	BOWMAN 6 OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 47 A	CONFIRM MOUNTING HEIGHT WITH ARCHITECT

NOTE: ALL FIXTURES SUBJECT TO CHANGE. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS.

SCHEDULE - LIGHT FIXTURES | 3

#	NAME / LOCATION	OPENING	W x H	THICKNESS	GLAZING	MANUFACTURER	MODEL	FINISH	HARDWARE	NOTES
										REFER TO STRUCTURAL FOR ALL NEW OPENINGS
B00.1	DOUBLE EXTERIOR BASEMENT STORAGE DOOR	NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	LEVER W/ CLASSROOM LOCK	
002.1	OPENING BETWEEN BAR (002) & DISHROOM (003)	MODIFIED	3' - 0" x 7' - 0"	N/A	N/A	N/A	N/A	N/A	N/A	
003.1	EXTERIOR DISH ROOM DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
004.1	DOUBLE ENTRY DOOR, RED BARN LOWER LEVEL	NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	FULL-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
005.1	ANTE ROOM STORAGE DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK	
006.1	WALK-IN COOLER DOOR	NEW	3' - 0" x 7' - 0"	4"	N/A	PER MANUFACTURER	PER MANUFACTURER	N/A	PER MANUFACTURER	
008.1	DOUBLE ENTRY DOOR, PAVILION	NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	FULL-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
008.2	PAVILION EXTERIOR EGRESS DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	RIM PANIC, CLOSER	
008.3	PAVILION EXTERIOR EGRESS DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	RIM PANIC, CLOSER	
101.1	DOUBLE EXTERIOR SERVICE DOOR	NEW	(2) 3' - 0" x 7' -0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
102.1	DOUBLE-ACTING SERVICE DOOR	NEW	3' - 0" x 7' - 0"	1"	9" X 14"	REGENCY	600TD3684	ANODIZED ALUMINUM	PER MANUFACTURER	
102.2	DOUBLE-ACTING SERVICE DOOR	NEW	3' - 0" x 7' - 0"	1"	9" X 14"	REGENCY	600TD3684	ANODIZED ALUMINUM	PER MANUFACTURER	
103.1	SMOKER DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK	PROVIDE MASONRY FRAME AND PROPER SEALING
104.1	DOUBLE FIRE DOOR	NEW	(2) 3' - 0" x 7' -0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	PROVIDE MASONRY FRAME, PROPER SEALING, AND HOLD OPENS CONNECTED TO FIRE DETECTION SYSTEM
104.2	DOUBLE FIRE DOOR	NEW	(2) 3' - 0" x 7' -0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	PROVIDE MASONRY FRAME, PROPER SEALING, AND HOLD OPENS CONNECTED TO FIRE DETECTION SYSTEM
105.1	OPENING BETWEEN VEST. (105) & VEST. (106)	MODIFIED	6' 6" x 7' - 0"	N/A	N/A	N/A	N/A	N/A	N/A	
107.1	SINGLE ENTRY DOOR, GROOM'S SUITE	MODIFIED	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-5)	LEVER W/ CLASSROOM LOCK, CLOSER	
108.1	RESTROOM DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ PRIVACY LOCK, CLOSER	
201.1	SINGLE ENTRY DOOR	NEW	3' - 0" x 7' - 0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	

NOTE: VERIFY ALL DOORS IN FIELD. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS. ALTERNATES TO BE CONSIDERED.

SCHEDULE - DOOR 12" = 1'-0" | 1

SLOW TIDE

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SCHEDULES - PROJECT

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

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10 - 31 - 2023

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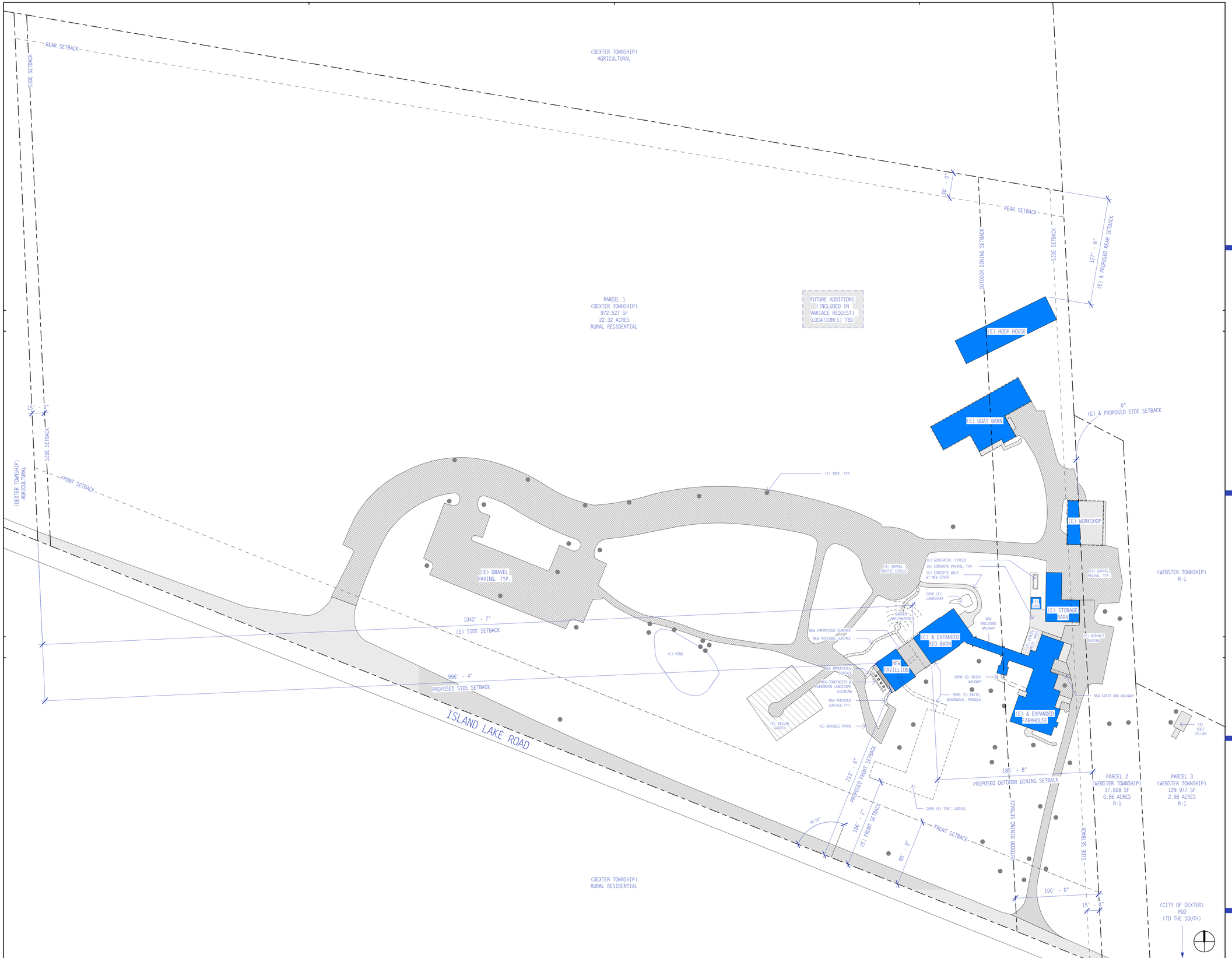

PROPOSED SITE PLAN - OVERALL, ARCHITECTURAL | 1

1" = 50'-0"

SLOW TIDE

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8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

PROPOSED SITE PLAN - OVERALL,
ARCHITECTURAL

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
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No. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:

10 - 31 - 2023

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PROPOSED SITE PLAN - SCOPE, ARCHITECTURAL | 1

1/16" = 1'-0"

SLOW TIDE

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ARCHITECTS

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8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

PROPOSED SITE PLAN - SCOPE, ARCHITECTURAL

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
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NO. 1301072153
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PROJECT ISSUE DATE:

10 - 31 - 2023

C-1.02

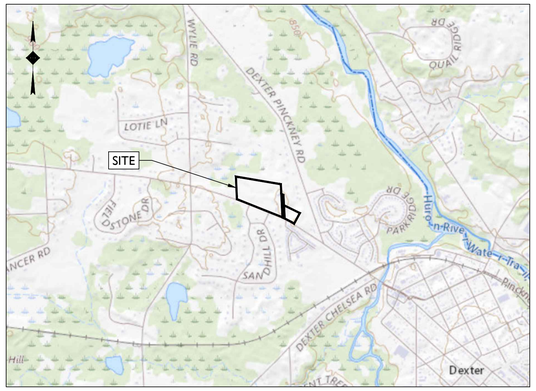
SITE IMPROVEMENT PLANS

FOR

CORNMAN FARMS

PROPOSED BUILDING ADDITION

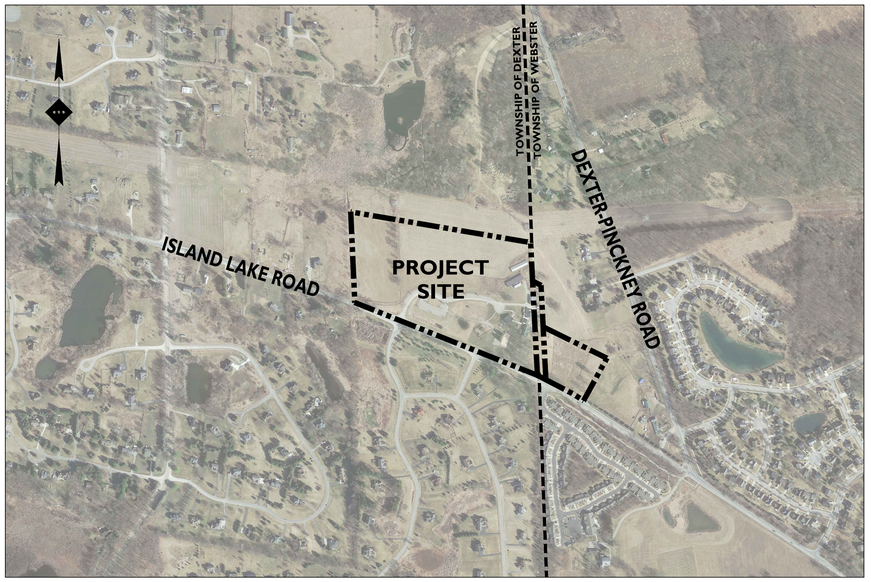
PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD, TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



SOURCE: USGS ONLINE MAPS

LOCATION MAP

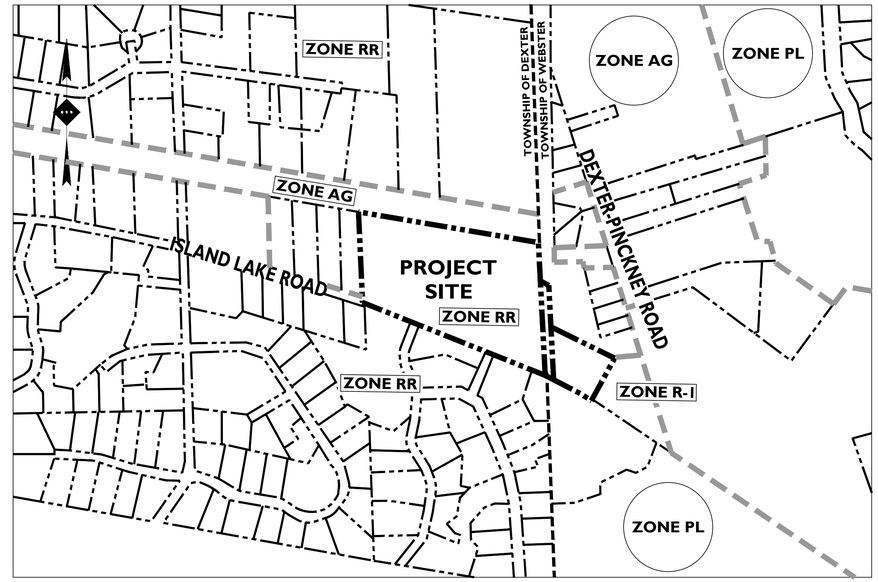
SCALE: 1" = 2,000'±



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 500'±



SOURCE: TOWNSHIP OF DEXTER & TOWNSHIP OF WEBSTER ZONING MAP

ZONING MAP

SCALE: 1" = 500'±

PLANS PREPARED BY:

STONEFIELD engineering & design

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Boston, MA · Princeton, NJ · Tampa, FL
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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

811 Know what's **below** **Call** before you dig.

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
   - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC & ASSOCIATES, DATED 01/18/2023
   - ARCHITECTURAL PLANS PREPARED BY SLOWTIDE STUDIO ARCHITECTS, DATED 10/26/2023
   - GEOTECHNICAL REPORT
   - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
   - LOCATION MAP OBTAINED FROM USGS ONLINE MAPS
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
OVERALL SITE PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
STORMWATER MANAGEMENT & UTILITY PLAN	C-6
LANDSCAPING PLAN	C-7
CONSTRUCTION DETAILS	C-8

ADDITIONAL SHEET INDEX

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	4 TO 4

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
1	10/23/2023	VF	FOR CLIENT REVIEW

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Detroit, MI · Rutherford, NJ · New York, NY
Boston, MA · Princeton, NJ · Tampa, FL
www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS
CORNMAN FARMS
PROPOSED BUILDING ADDITION
PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
JONATHAN REED COONSEY
ENGINEER
No. 4104069428
MICHIGAN LICENSE NO. 4104069428
LICENSED PROFESSIONAL ENGINEER

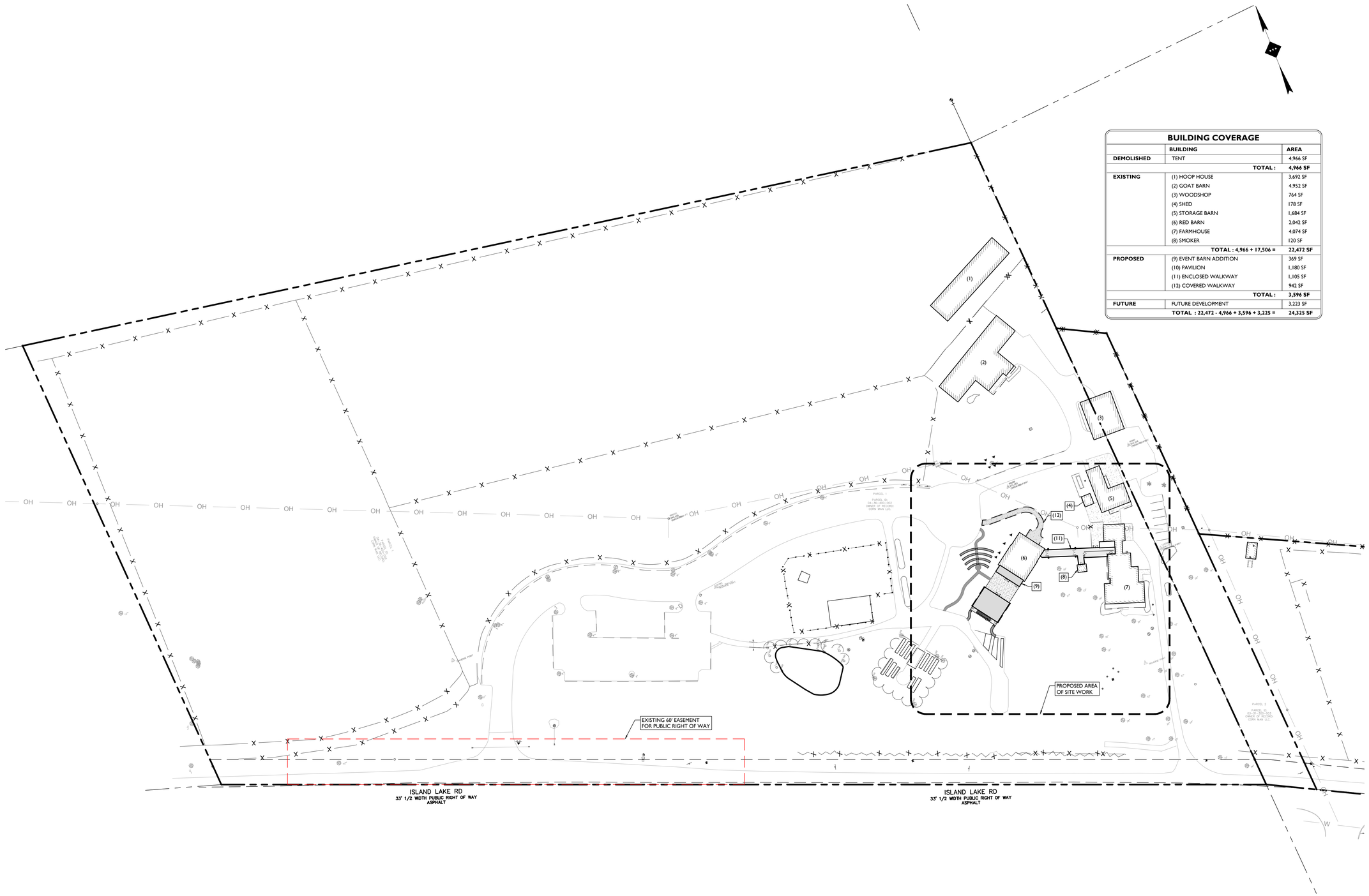
STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: DET-220107

TITLE: COVER SHEET

DRAWING: C-1

V:\DET\2022\DET-220107 SLOWTIDE STUDIOS #40 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\SP-R1-COVER.DWG



BUILDING COVERAGE

	BUILDING	AREA
DEMOLISHED	TENT	4,966 SF
	TOTAL :	**4,966 SF**
EXISTING	(1) HOOP HOUSE	3,692 SF
	(2) GOAT BARN	4,952 SF
	(3) WOODSHOP	764 SF
	(4) SHED	178 SF
	(5) STORAGE BARN	1,684 SF
	(6) RED BARN	2,042 SF
	(7) FARMHOUSE	4,074 SF
	(8) SMOKER	120 SF
	TOTAL : 4,966 + 17,506 =	**22,472 SF**
PROPOSED	(9) EVENT BARN ADDITION	369 SF
	(10) PAVILION	1,180 SF
	(11) ENCLOSED WALKWAY	1,105 SF
	(12) COVERED WALKWAY	942 SF
	TOTAL :	**3,596 SF**
FUTURE	FUTURE DEVELOPMENT	3,223 SF
	TOTAL : 22,472 - 4,966 + 3,596 + 3,225 =	**24,325 SF**

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WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
JONATHAN FRED COOKSEY
ENGINEER
No. 70069428
MICHIGAN LICENSE NO. 70069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 60' | PROJECT ID: DET-220107

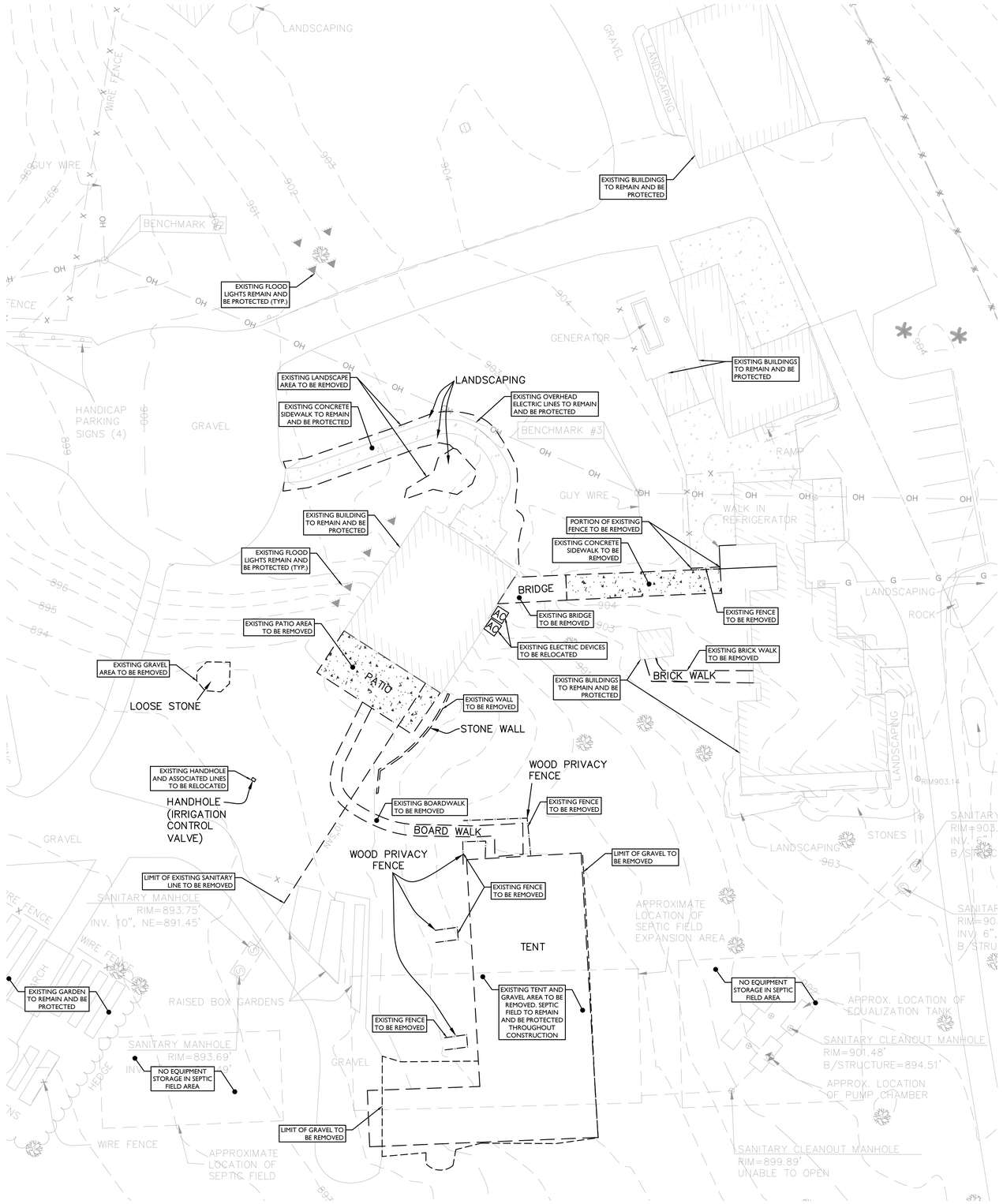
TITLE:

OVERALL SITE PLAN

DRAWING:

C-2

V:\DET\2022\DET-220107-SLOVYTICE STUDIOS-8540 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\DP-02\04-SITE.DWG



SYMBOL	DESCRIPTION
	FEATURE TO BE REMOVED / DEMOLISHED
	EXISTING FENCE TO BE REMOVED / DEMOLISHED
	EXISTING CONCRETE TO BE REMOVED / DEMOLISHED

ALL SITE FEATURES WITHIN THIS PLAN ARE TO BE REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

811

Know what's **below**
Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

ISSUE	DATE	BY	DESCRIPTION
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CORNMAN FARMS

PROPOSED BUILDING ADDITION

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8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
SOUTHWIND FRED COOKSEY ENGINEER
No. 61069428
MICHIGAN LICENSE NO. 61069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: DET-220107

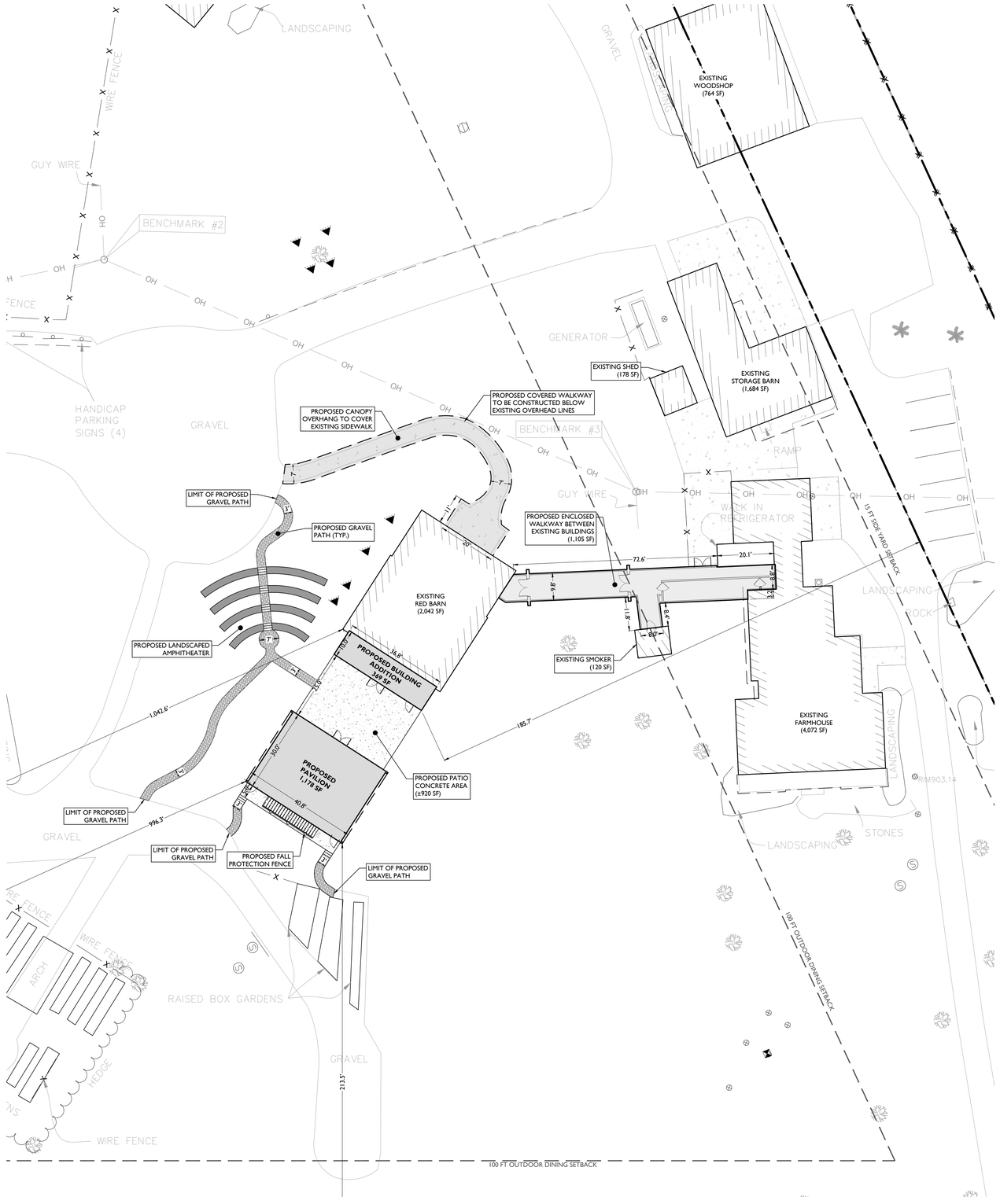
TITLE:

DEMOLITION PLAN

DRAWING:

C-3

V:\DET\2022\DET-220107-SOUTHFIELD STUDIOS-8540 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\DEP-02-DEMOLITION.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED BUILDING DOORS
	PROPOSED CANOPY OVERHANG
	PROPOSED GRAVEL

LAND USE AND ZONING

PARCEL ID : D -04-36-400-002

RURAL RESIDENTIAL DISTRICT (RR)

PROPOSED USE

SPECIAL EVENT FACILITY — EXISTING APPROVED SPECIAL LAND USE

ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20 AC (1)	22.32 AC (972,527 SF)	-
MINIMUM LOT WIDTH	600 FT (1)	1,372.2 FT	-
MAXIMUM IMPERVIOUS COVERAGE	20% (194,505 SF)	9.7% (94,195 SF)	10.6% (103,313 SF)
MAXIMUM BUILDING COVERAGE	11,543 SF	22,472 SF (EN)	24,325 SF (V) (*)
MAXIMUM BUILDING HEIGHT	30 FT	< 30 FT	< 30 FT
MINIMUM FRONT YARD SETBACK	80 FT	106.2 FT	213.5 FT
MINIMUM SIDE YARD SETBACK	15 FT	0.0 FT (EN)	0.0 FT (EN)
MINIMUM REAR YARD SETBACK	30 FT	127.5 FT	127.5 FT
OUTDOOR DINING SETBACK	100 FT (1)	N/A	185.7 FT
FRONT YARD PARKING SETBACK	80 FT (2)	N/A	N/A
SIDE YARD PARKING SETBACK	15 FT (2)	0 FT (EN)	0 FT (EN)
REAR YARD PARKING SETBACK	30 FT (2)	N/A	N/A

(V) VARIANCE
(EN) EXISTING NON-CONFORMITY

(1) § 17.04.L : SPECIAL EVENT FACILITY REQUIREMENTS
- LOT AREA : 20 AC
- LOT WIDTH : 600 FT
- OUTDOOR DINING : 100 FT FROM ANY LOT LINE

(2) § 18.04.C.1 : PARKING SPACES, QUEUING SPACES, AND MANEUVERING LANES SHALL MEET THE YARD REQUIREMENTS OF THE DISTRICT IT IS LOCATED IN.

(*) SEE SHEET C-2 FOR CALCULATIONS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
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SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
JONATHAN REED COOKSEY
ENGINEER
No. 61069428
MICHIGAN LICENSE NO. 61069428
LICENSED PROFESSIONAL ENGINEER

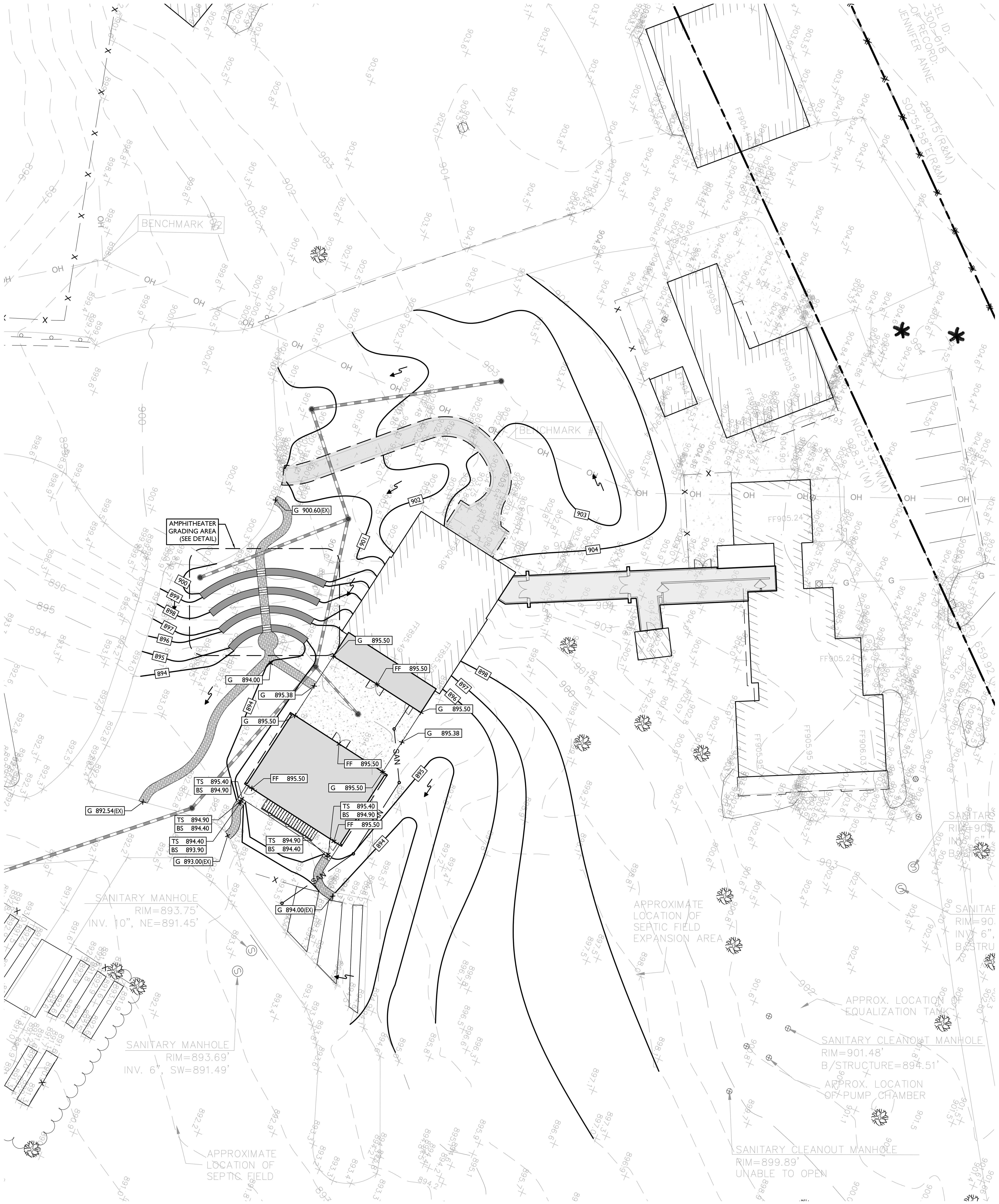
STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: DET-220107

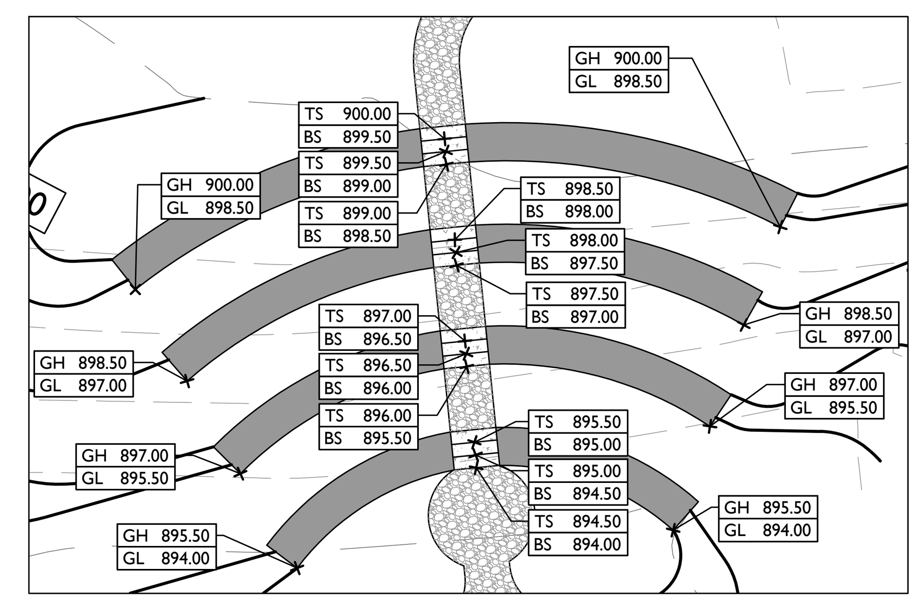
TITLE: SITE PLAN

DRAWING: C-4

V:\DET\220107\DET-220107-SUNVITGE STUDIOS\8540 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\DP-02004-SITE.DWG



V:\DET\2022\DET-220107-SLOWTIDE STUDIOS-8540 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\SDP-05-GRAD.DWG



AMPHITHEATER GRADING DETAIL 1"=10'

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
	PROPOSED DIRECTION OF DRAINAGE FLOW
G 100.00(EX)	EXISTING GRADE SPOT SHOT
G 100.00	PROPOSED GRADE SPOT SHOT
FF 100.00	PROPOSED FINISHED FLOOR SPOT SHOT
TS 100.12 / BS 100.00	PROPOSED TOP OF STEP/BOTTOM OF STEP SPOT SHOT

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.

20' 0' 20' 40'

GRAPHIC SCALE IN FEET
1" = 20'

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CORNMAN FARMS

PROPOSED BUILDING ADDITION

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STATE OF MICHIGAN
JONATHAN REID COOKSEY
ENGINEER
No. 6201069428
LICENSED PROFESSIONAL ENGINEER
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: DET-220107

TITLE: **GRADING PLAN**

DRAWING: **C-5**

SYMBOL / DESCRIPTION

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
SAN	PROPOSED SANITARY LATERAL
	PROPOSED SANITARY CLEANOUT
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

40' 0' 40' 80'

GRAPHIC SCALE IN FEET
1" = 40'

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
1	10/23/2023	VF	FOR CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

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Boston, MA · Princeton, NJ · Tampa, FL
www.stonefieldeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
SYNTHIA FRED COOKSEY
ENGINEER
No. 6201046426
MICHIGAN LICENSED PROFESSIONAL ENGINEER

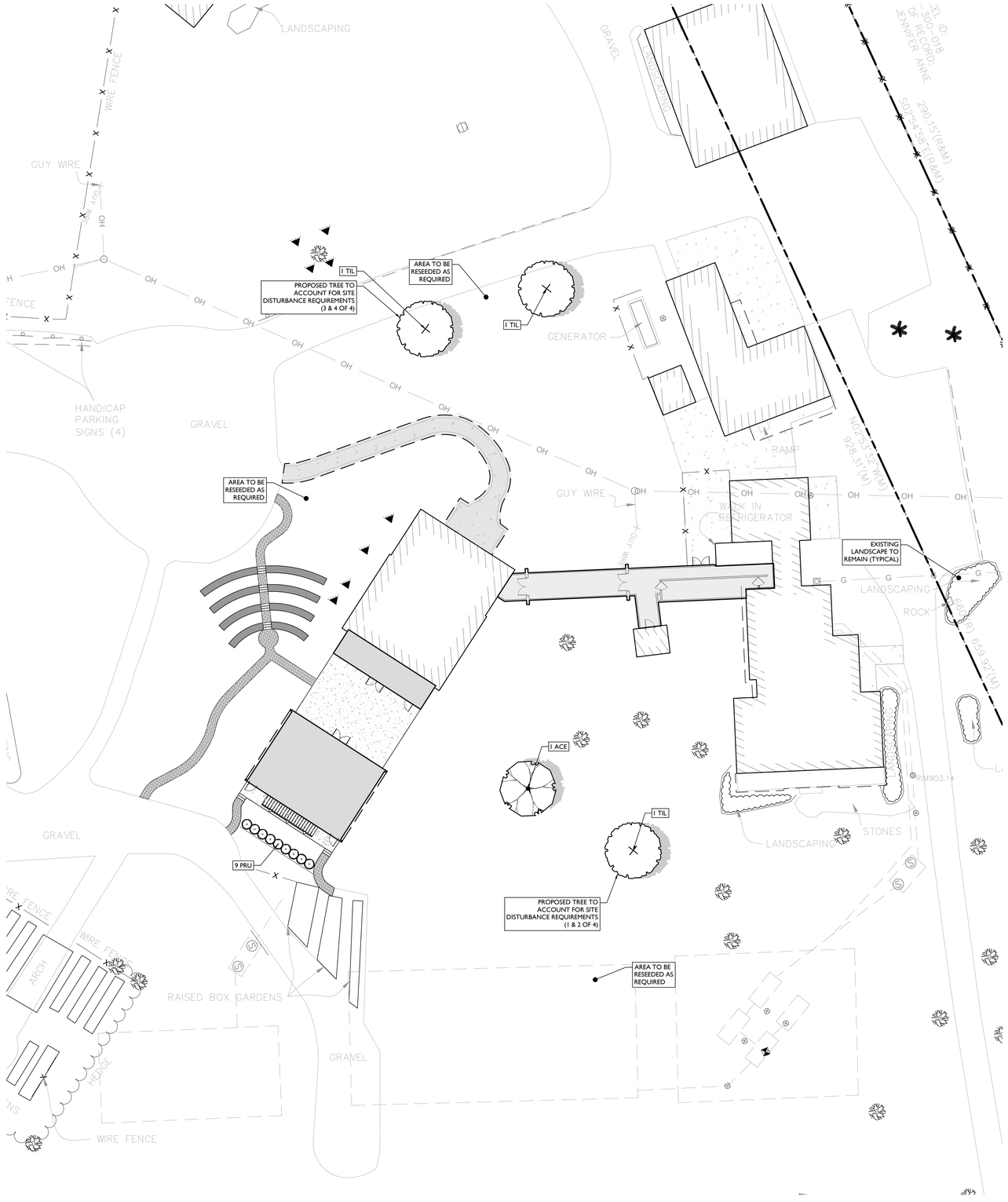
STONEFIELD engineering & design

SCALE: 1" = 40' | PROJECT ID: DET-220107

TITLE: STORMWATER MANAGEMENT & UTILITY PLAN

DRAWING: C-6

V:\DET\2022\DET-220107\LDP\TIGER\STUDIOS\8540 ISLAND LAKE ROAD, DEXTER - PHC\ADDPLOT\DP-06-STRM-UTIL.DWG



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ACE	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" - 2.5" CAL	B&B
	QUE	3	QUERCUS PHELLOS	WILLOW OAK	2" - 2.5" CAL	B&B
	TIL	3	TILIA AMERICANA	AMERICAN LINDEN	2" - 2.5" CAL	B&B
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	PRU	9	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	18" - 24"	POT

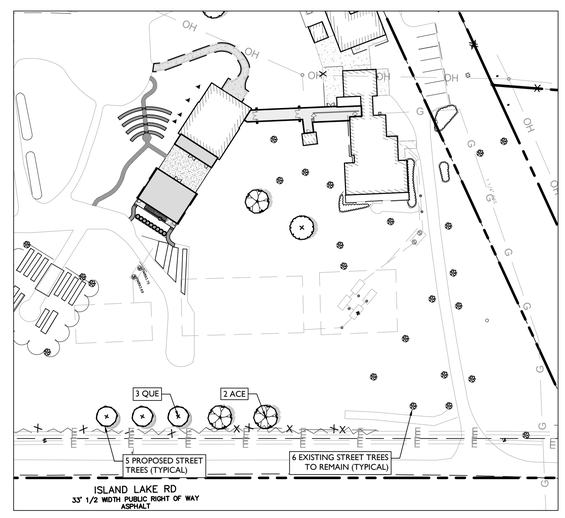
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

SIMILAR APPROVED SPECIES TO BE APPROVED UPON LOCAL AVAILABILITY AND SOURCING.

LANDSCAPING AND BUFFER REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
	DESIGN STANDARDS:	
§ 20.02(B)	(1) SHADE TREE PER 10,000 SF OF DISTURBANCE (42,000 SF)/(10,000 SF) = 4 TREES	4 TREES
§ 20.02(C)	10% OF THE SITE SHALL AREA SHALL BE LANDSCAPED (972,527 SF)*(0.10) = 97,254 SF	906,361 SF
	FRONT YARD BUFFER:	
§ 20.03(A)1.b	(1) TREE PER 30 LF OF FRONTAGE (339 LF)/(30) = 11 TREES	11 TREES
	PARKING AND LOADING:	
§ 20.04(A)	OFF STREET PARKING SHALL BE SCREENED FROM RIGHT-OF-WAY	EXISTING LANDSCAPING TO REMAIN
§ 20.04(B)1	(1) TREE PER 8 PARKING SPACES (0 PROPOSED SPACE)/(8) = 0 TREES	N/A

(N/A) NOT APPLICABLE



STREET TREE LOCATIONS 1"=60'

811

Know what's **below**
Call before you dig.

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH .
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
7. ANY BRACING SHALL BE REMOVED WITHIN ONE (1) YEAR OF PLANTING.

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

PAUL DEVITTO, L.L.A.
MICHIGAN LICENSE No. 3901001797
LICENSED LANDSCAPE ARCHITECT

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
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SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
JONATHAN FRED COOKSEY
ENGINEER
No. 47069428
MICHIGAN LICENSE No. 47069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 20' | PROJECT ID: DET-220107

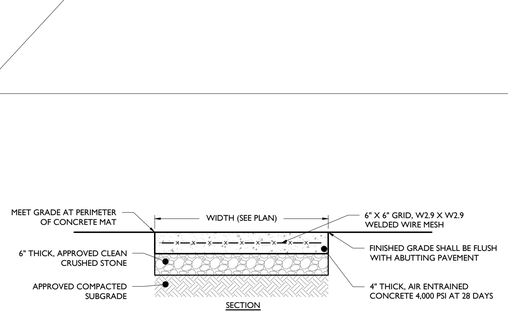
TITLE:

LANDSCAPING PLAN

DRAWING:

C-7

V:\DET\2022\DET-220107 ELDVITTOE STUDIOS\PB\9 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\DP-02 LANDSCAPE.DWG



SECTION

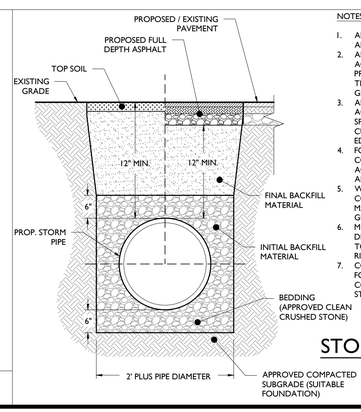
REINFORCED 4" PATIO CROSS SECTION DETAIL

NOT TO SCALE

NOTES:

1. ½" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ¼" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
2. 1" DEEP BY ¼" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
3. CONCRETE SHALL RECEIVE BROOM FINISH.
4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

1



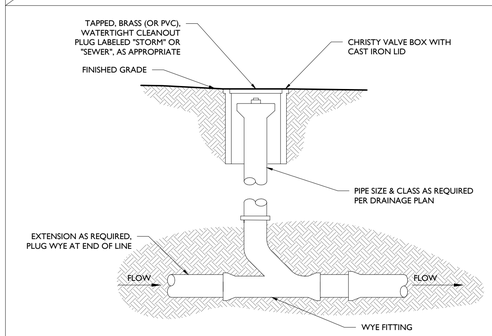
NOTES:

1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

STORM TRENCH DETAIL

NOT TO SCALE

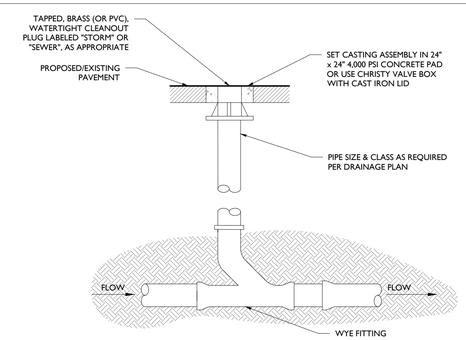
2



SOFTSCAPE CLEAN-OUT

NOT TO SCALE

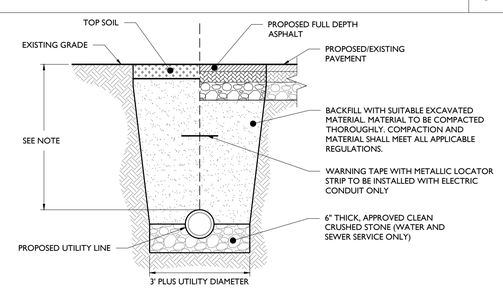
3



HARDSCAPE CLEAN-OUT

NOT TO SCALE

4



UTILITY TRENCH DETAIL

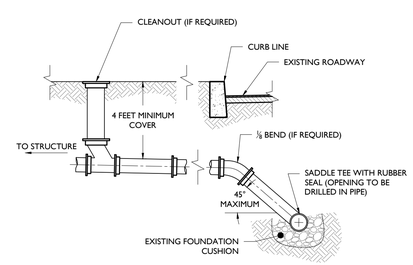
NOT TO SCALE

NOTE:

MINIMUM PIPE COVER SHALL BE AS FOLLOW:

- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
- GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
- SEWER SERVICE - 36" MINIMUM
- WATER SERVICE - 48" MINIMUM

5



SEWER CONNECTION DETAIL

NOT TO SCALE

6

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
1	10/23/2023	VF	FOR CLIENT REVIEW

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C-02-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

STATE OF MICHIGAN
JONATHAN FRED COOMBSY
ENGINEER
No. 6201062426
MICHIGAN LICENSED PROFESSIONAL ENGINEER

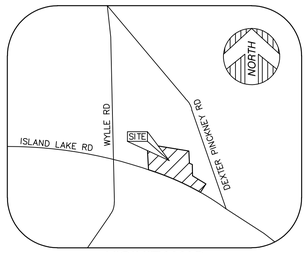
STONEFIELD engineering & design

SCALE: NTS | PROJECT ID: DET-220107

TITLE: CONSTRUCTION DETAILS

DRAWING: C-8

V:\DET\2021\DET-220107-SLOAN\TIDES STUDIOS-8540 ISLAND LAKE ROAD, DEXTER, MI\CADD\PLOT\DP-08-DETS.DWG



VICINITY MAP
(NOT TO SCALE)

PARKING
HANDICAP PARKING = 0 STALLS
STANDARD PARKING = 7 STALLS
PARKING BLOCKS = 122
HANDICAP PARKING BLOCKS = 4

PARCEL AREA
PARCEL 1:
972,527± SQUARE FEET = 22.32± ACRES

PARCEL 2:
37,808± SQUARE FEET = 0.86± ACRES

PARCEL 3:
129,977± SQUARE FEET = 2.98± ACRES

BASIS OF BEARING
SOUTH 02°53'33" EAST, BEING THE EAST LINE OF SECTION 36, PER ATWELL SURVEY, DATED 6/20/12, JOB #12000960.

BENCHMARK
BENCHMARK #1
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±300 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. NORTH OF WESTERLY PARKING AREA.
ELEVATION = 889.49' (NAVD 88)

BENCHMARK #2
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±350 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. ±80 FEET SOUTHWEST NORTH MOST BARN.
ELEVATION = 898.97' (NAVD 88)

BENCHMARK #3
MAG NAIL SET IN NORTH SIDE OF UTILITY POLE, ±30 FEET WEST OF THE NORTHWEST CORNER OF THE CLUBHOUSE, ±275 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD.
ELEVATION = 905.03' (NAVD 88)

SURVEYOR'S NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

PROPERTY DESCRIPTION
THE LAND SITUATED IN THE TOWNSHIP OF WEBSTER, COUNTY OF WASHTENAW, MICHIGAN, DESCRIBED AS:

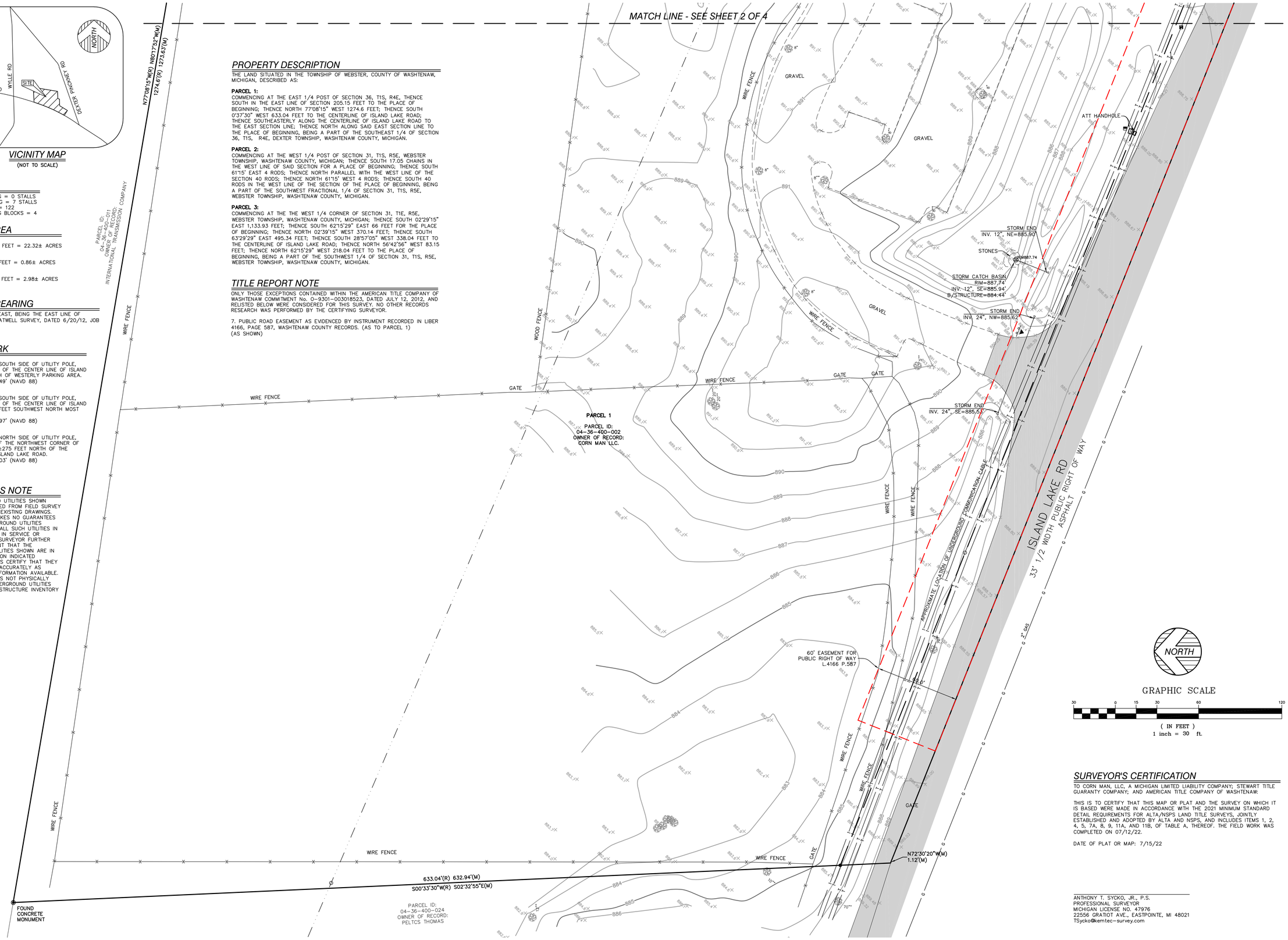
PARCEL 1:
COMMENCING AT THE EAST 1/4 POST OF SECTION 36, T1S, R4E, THENCE SOUTH IN THE EAST LINE OF SECTION 205.15 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 77°08'15" WEST 1274.6 FEET; THENCE SOUTH 0°37'30" WEST 633.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF ISLAND LAKE ROAD TO THE EAST SECTION LINE; THENCE NORTH ALONG SAID EAST SECTION LINE TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 36, T1S, R4E, DEXTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 2:
COMMENCING AT THE WEST 1/4 POST OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 17.05 CHAINS IN THE WEST LINE OF SAID SECTION FOR A PLACE OF BEGINNING; THENCE SOUTH 61°15' EAST 4 RODS; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE SECTION 40 RODS; THENCE NORTH 61°15' WEST 4 RODS; THENCE SOUTH 40 RODS IN THE WEST LINE OF THE SECTION OF THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 3:
COMMENCING AT THE THE WEST 1/4 CORNER OF SECTION 31, T1E, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 02°29'15" EAST 1,133.93 FEET; THENCE SOUTH 62°15'29" EAST 66 FEET FOR THE PLACE OF BEGINNING; THENCE NORTH 02°39'15" WEST 370.14 FEET; THENCE SOUTH 63°29'29" EAST 495.34 FEET; THENCE SOUTH 28°57'05" WEST 338.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE NORTH 56°42'56" WEST 83.15 FEET; THENCE NORTH 62°15'29" WEST 218.04 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

TITLE REPORT NOTE
ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE AMERICAN TITLE COMPANY OF WASHTENAW COMMITMENT No. 0-9301-003018523, DATED JULY 12, 2012, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

7. PUBLIC ROAD EASEMENT AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4166, PAGE 587, WASHTENAW COUNTY RECORDS. (AS TO PARCEL 1)
(AS SHOWN)



NORTH

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

SURVEYOR'S CERTIFICATION
TO CORN MAN, LLC, A MICHIGAN LIMITED LIABILITY COMPANY; STEWART TITLE GUARANTY COMPANY; AND AMERICAN TITLE COMPANY OF WASHTENAW:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 5, 7A, 8, 9, 11A, AND 11B, OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 07/12/22.

DATE OF PLAT OR MAP: 7/15/22

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemtec-survey.com

KEM-TEC
PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
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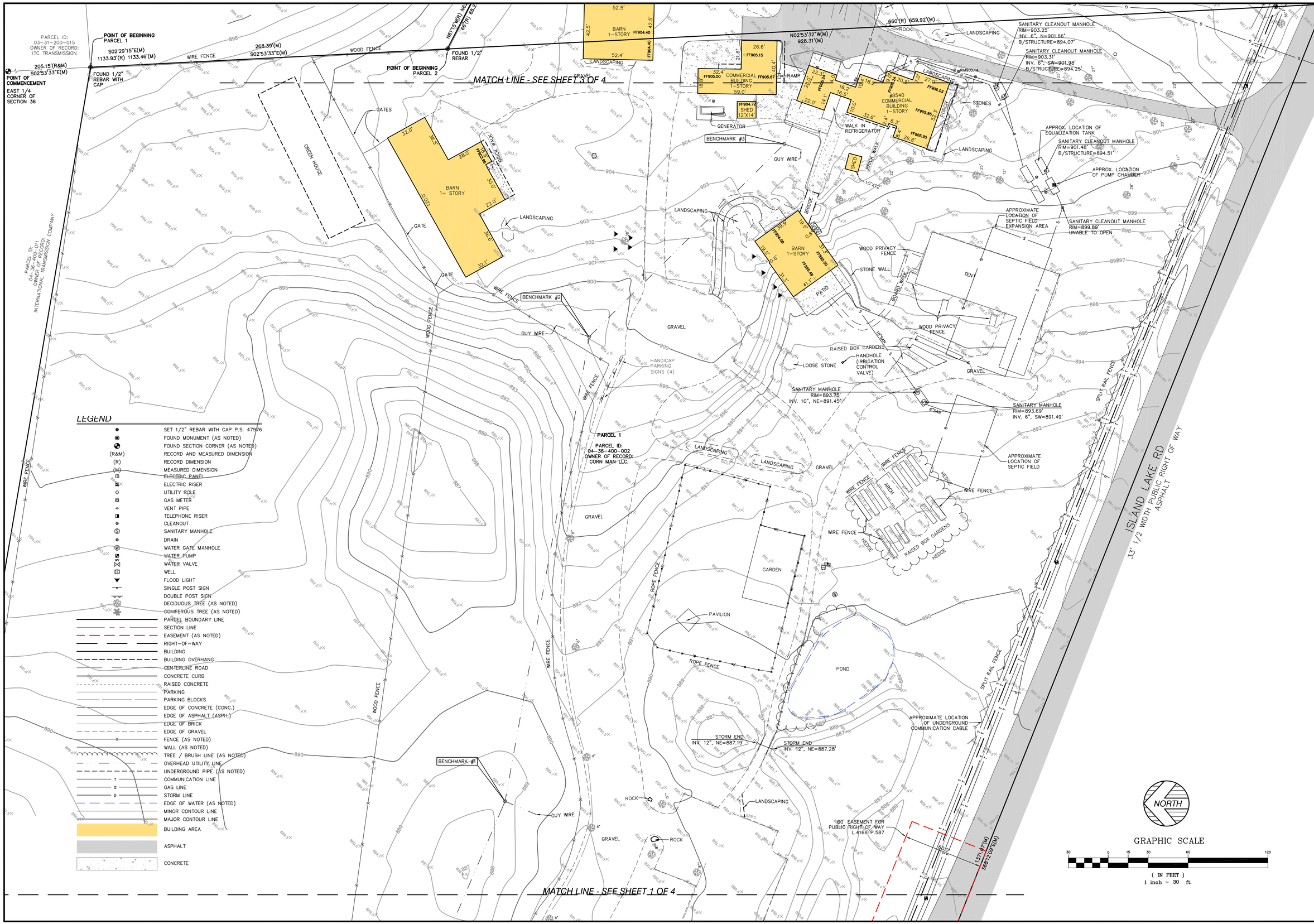
Grand Blanc (888) 694.0001
Detroit (313) 758.0877
www.kemtecgroupofcompanies.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

REVISION	DATE	BY	DESCRIPTION
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS
2	01/23/23	MRJ	ADDITIONAL UTILITY INFO
1	01/13/22	MRJ	ADDITIONAL TOPO

DRAWN BY: DAH 07/14/22
CHECKED BY: ATS 07/15/22
DATE: JULY 15, 2022
PROJECT NO. 22-01590
SCALE: 1" = 30'



LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ELECTRIC PANEL
- ELECTRIC RISER
- UTILITY POLE
- GAS METER
- VENT PIPE
- TELEPHONE RISER
- CLEANOUT
- SANITARY MANHOLE
- DRAIN
- WATER GATE MANHOLE
- WATER PUMP
- WATER VALVE
- WELL
- FLOOD LIGHT
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- PARKING BLOCKS
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- TREE / BRUSH LINE (AS NOTED)
- OVERHEAD UTILITY LINE
- UNDERGROUND PIPE (AS NOTED)
- T COMMUNICATION LINE
- G GAS LINE
- D STORM LINE
- EDGE OF WATER (AS NOTED)
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE

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PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
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Grand Blanc (888) 694-0001
Detroit (313) 758-0677
www.kemtecgroupofcompanies.com

ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

REVISION	DATE	BY	DESCRIPTION
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS
2	01/23/23	MRJ	ADDITIONAL UTILITY INFO
1	01/13/22	MRJ	ADDITIONAL TOPO

DRAWN BY: DAH 07/14/22
CHECKED BY: ATS 07/15/22
DATE: JULY 15, 2022
PROJECT NO.: 22-01590
SCALE: 1" = 30'

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ELECTRIC PANEL
- ELECTRIC RISER
- UTILITY POLE
- GAS METER
- VENT PIPE
- TELEPHONE RISER
- CLEANOUT
- SANITARY MANHOLE
- DRAIN
- WATER GATE MANHOLE
- WATER PUMP
- WATER VALVE
- WELL
- FLOOD LIGHT
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- PARKING BLOCKS
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- TREE / BRUSH LINE (AS NOTED)
- OVERHEAD UTILITY LINE
- UNDERGROUND PIPE (AS NOTED)
- T COMMUNICATION LINE
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- EDGE OF WATER (AS NOTED)
- MINOR CONTOUR LINE
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- BUILDING AREA
- ASPHALT
- CONCRETE

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ALTA / NSPS LAND TITLE SURVEY

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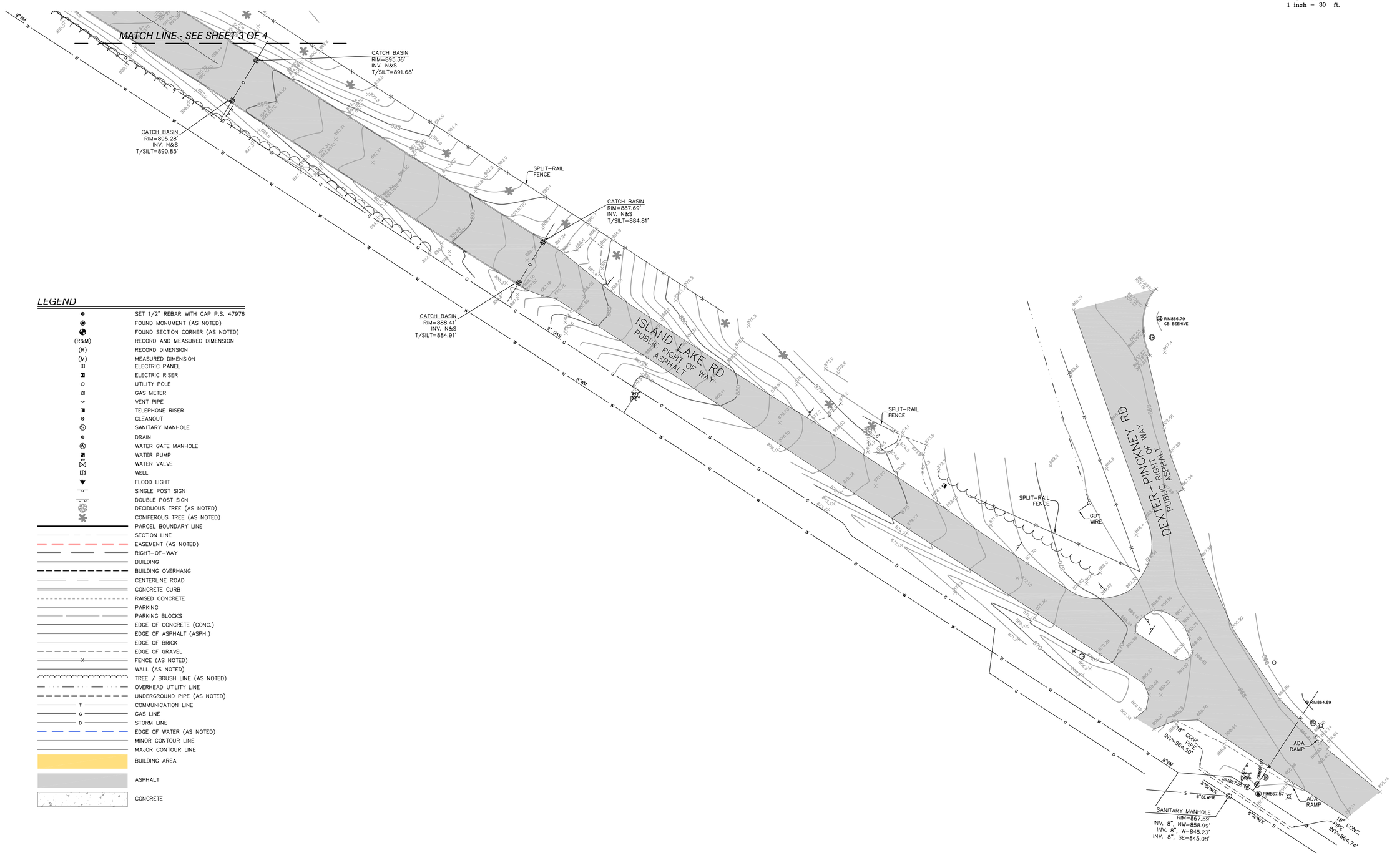

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
◉	FOUND MONUMENT (AS NOTED)
✚	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
	ELECTRIC PANEL
	ELECTRIC RISER
	UTILITY POLE
	GAS METER
	VENT PIPE
	TELEPHONE RISER
	CLEANOUT
Ⓢ	SANITARY MANHOLE
	DRAIN
Ⓦ	WATER GATE MANHOLE
	WATER PUMP
	WATER VALVE
	WELL
	FLOOD LIGHT
	SINGLE POST SIGN
	DOUBLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	CONIFEROUS TREE (AS NOTED)
	PARCEL BOUNDARY LINE
	SECTION LINE
	EASEMENT (AS NOTED)
	RIGHT-OF-WAY
	BUILDING
	BUILDING OVERHANG
	CENTERLINE ROAD
	CONCRETE CURB
	RAISED CONCRETE
	PARKING
	PARKING BLOCKS
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	EDGE OF BRICK
	EDGE OF GRAVEL
	FENCE (AS NOTED)
	WALL (AS NOTED)
	TREE / BRUSH LINE (AS NOTED)
	OVERHEAD UTILITY LINE
	UNDERGROUND PIPE (AS NOTED)
T	COMMUNICATION LINE
G	GAS LINE
D	STORM LINE
	EDGE OF WATER (AS NOTED)
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	BUILDING AREA
	ASPHALT
	CONCRETE

NORTH

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

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ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

REVISION	DATE	BY	DESCRIPTION
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DATE:	JULY 15, 2022
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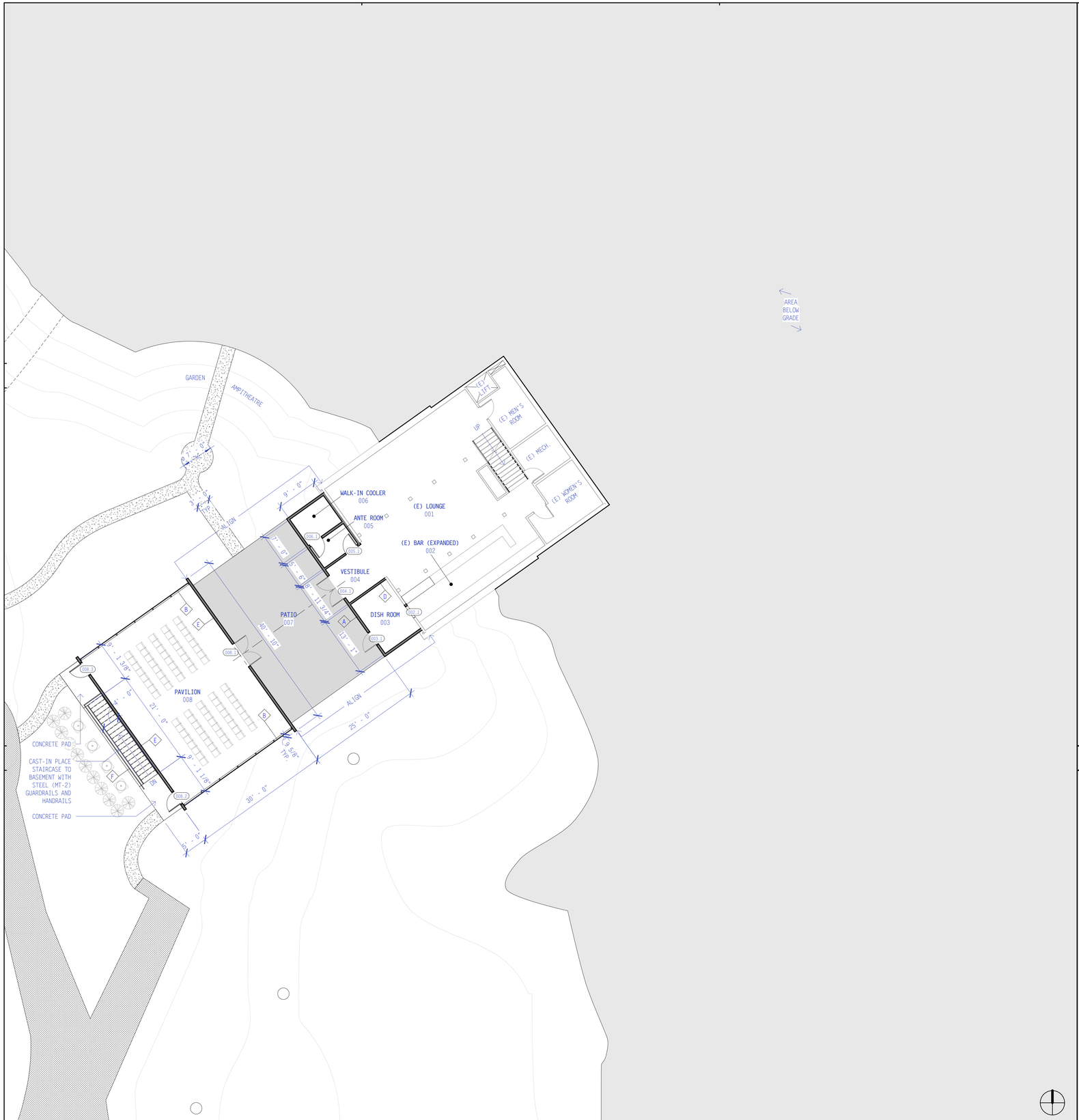
SCALE:	1" = 30'



FLOOR PLAN - LOWER LEVEL 4
3/32" = 1'-0"

A	TYPICAL EXTERIOR WALL	CONVENTIONAL STUD FRAMING W/ EXTERIOR SIDING (PER ELEVATIONS) AND INTERIOR FINISHING, INSULATED PER CODE.
B	STOREFRONT SYSTEM	4 1/2" X 2" BLACK ANODIZED OR DARK BRONZE ANODIZED TUBELITE O14000 SYSTEM (OR APPROVED ALTERNATE) STOREFRONT FRAME WITH CENTER-SET 1" GLAZING
C	FIREWALL	8" CMU WALL, FULLY GROUTED [4 HOUR ASSEMBLY] W/ STONE VENEER TO MATCH (E) RED BARN & (E) SMOKER
D	TYPICAL INTERIOR PARTITION	CONVENTIONAL WOOD FRAMING W/ GYPSUM WALLBOARD ON EXPOSED SIDES.
E	PREFABRICATED EXTERIOR WALL SYSTEM	SUPPLIED BY ECOSTEEL OR SIMILAR, W/ INTEGRAL METAL SIDING SYSTEM IN BLACK OR DARK BRONZE, INSULATED PER CODE
F	FOUNDATION	12" CAST-IN-PLACE CONCRETE FOUNDATION WALL

SCHEDULE - WALL 2
1/4" = 1'-0"

1. DO NOT SCALE FROM DRAWINGS. ARCHITECT TO PROVIDE ADDITIONAL DIMENSIONS AS REQUESTED.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IF DISCREPANCIES EXIST, CONSULT ARCHITECT.
3. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL.
4. ALL DRYWALL TO BE 5/8", UNLESS OTHERWISE NOTED, AND IS TO BE GLUED AND SCREWED AT ALL LOCATIONS.
5. PROVIDE SOLID, FIRE-RATED, WOOD BLOCKING AT ALL LOCATIONS FOR WALL-MOUNTED ITEMS.
6. INCLUDE CUTTING, CORING, REMOVAL, REINFORCEMENT, AND REPLACEMENT AS REQUIRED OF CONCRETE FLOOR, WOOD-JOIST SYSTEMS, MASONRY WALLS, AND OTHER (E) BUILDING ASSEMBLIES TO ACCOMODATE ALTERATION PLANS.
7. ANY EXPOSED CONDUIT, DUCTWORK, OR PLUMBING TO BE AS MINIMAL AS POSSIBLE, LAYOUT TO BE COORDINATED WITH AND APPROVED BY ARCHITECT.
8. ALL MECHANICAL TERMINATIONS TO BE ALIGNED WITH LIGHT FIXTURES. IF CONFLICT IS PRESENT, THE LOCATION OF THE LIGHT FIXTURE TO TAKE PRECEDENCE.
9. FRAMING LAYOUT TO BE COORDINATED TO ACCOMODATE CEILING LAYOUT, ESPECIALLY AS IT RELATES TO RECESSED FIXTURES, EXHAUST FAN HOUSING, AND OTHER COMPONENTS MOUNTED IN THE DEPTH OF THE FRAMING.
10. AS LINES, LINE SETS, AND OTHER INFRASTRUCTURE TO BE RUN EFFICENTLY AND CONCENTRATED IN PARALLEL WHENEVER POSSIBLE.
11. SCOPE TO INCLUDE ALL NECESSARY DEMO, BEYOND WHAT IS SHOWN, TO ACCOMODATE THE ALTERATION PLANS.
12. ALL GRADING SHOWN ON ARCHITECTURAL SHEETS IS EXISTING AND SPECULATIVE AND IS SHOWN ONLY AS GUIDEANCE. FOR ALL PROPOSED GRADING AND DRAINAGE, REFER TO CIVIL SHEETS.

GENERAL NOTES - FLOOR PLAN (LL & FF) 1

SLOW TIDE

SLOWTIDE.STUDIO, ARCHITECTS
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

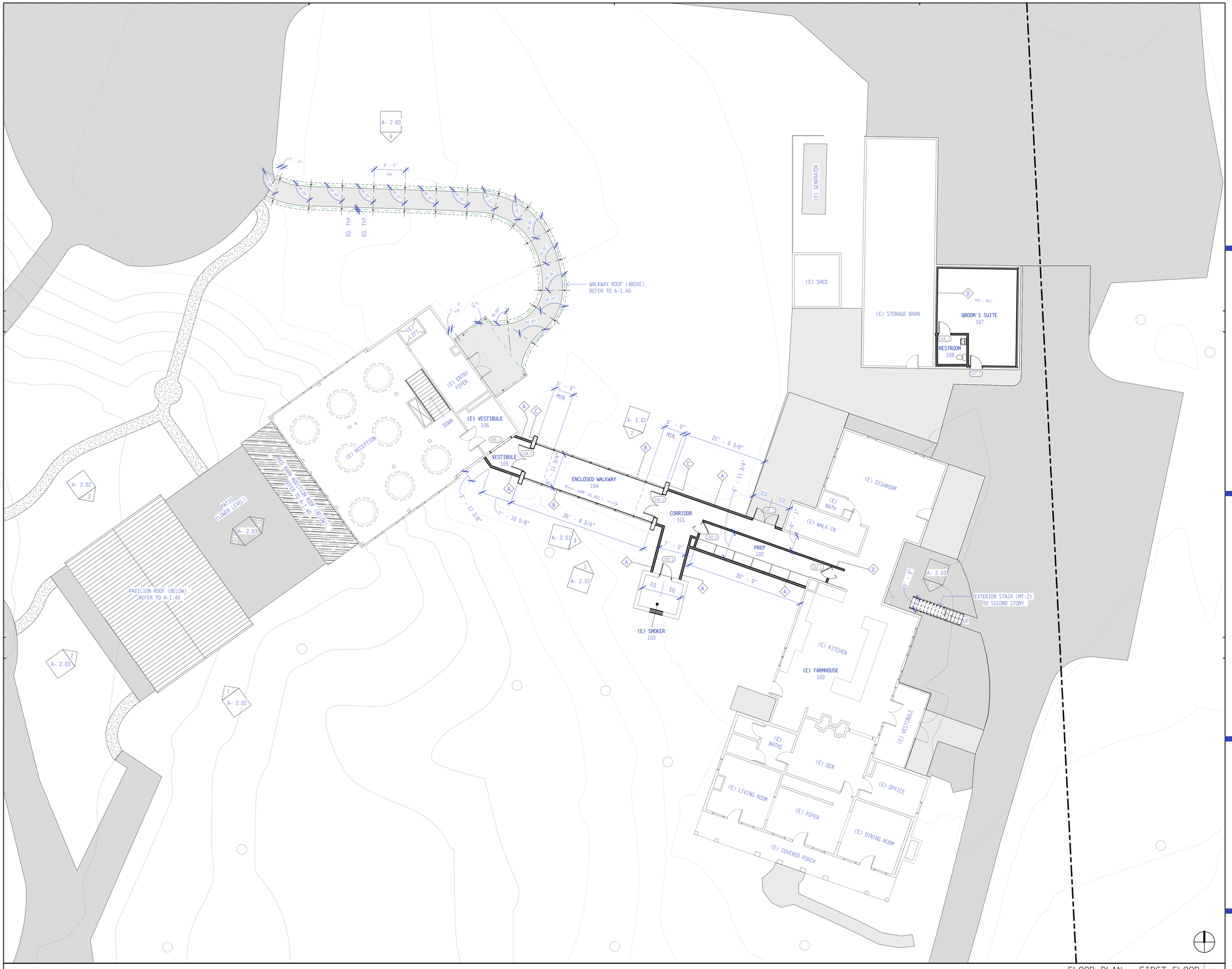
CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

FLOOR PLAN - LOWER LEVEL
SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
No. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

A-1.00



FLOOR PLAN - FIRST FLOOR
3/32" = 1'-0"
1

SLOW TIDE

SLOWTIDE.STUDIO.
ARCHITECTS

1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302

HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

FLOOR PLAN - FIRST FLOOR

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
NO. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

A-1.01

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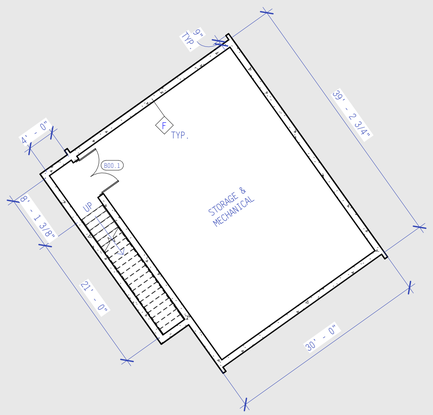
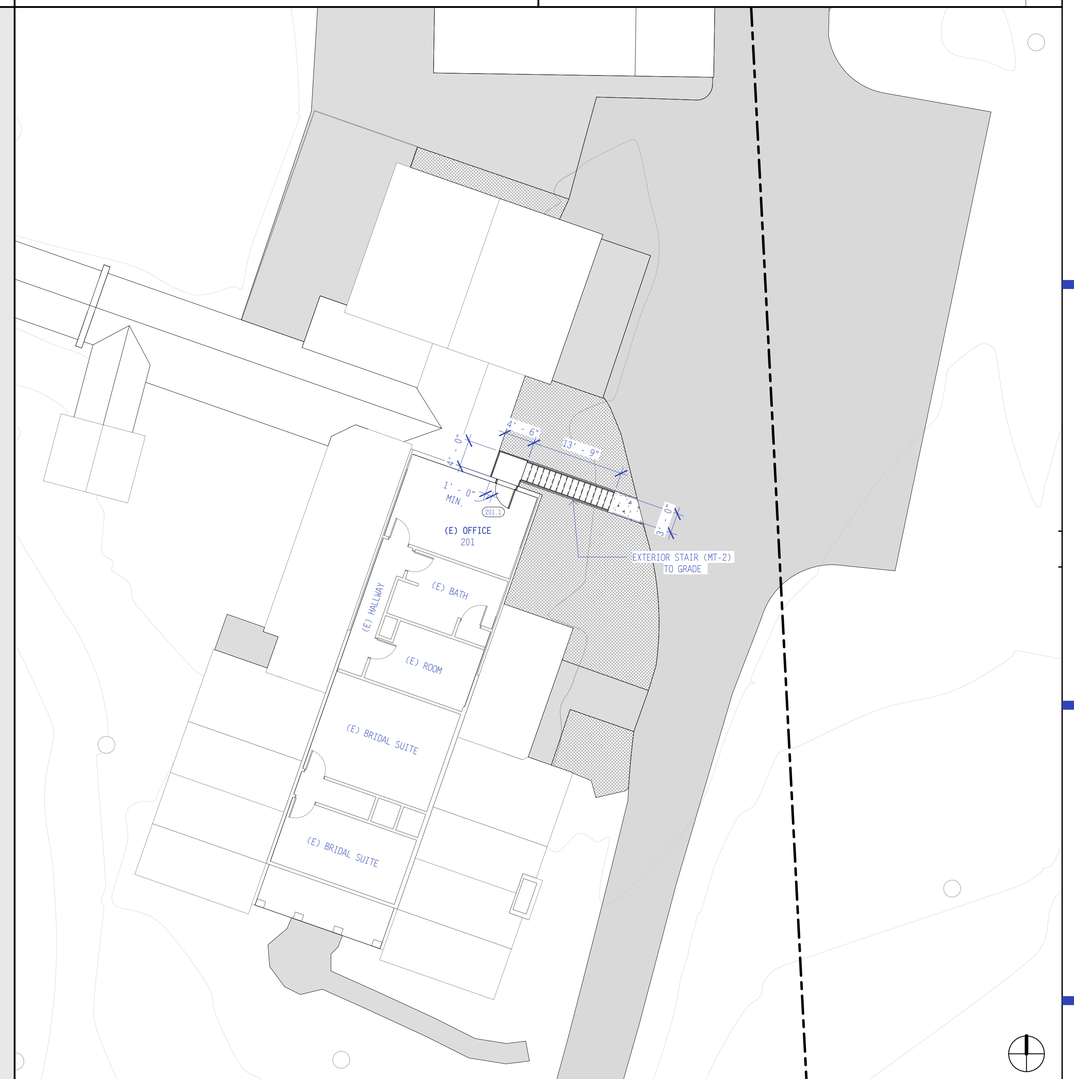
GENERAL NOTES - FLOOR PLAN (B & SF) | 3



FLOOR PLAN - BASEMENT | 7
3/32" = 1'-0"



FLOOR PLAN - SECOND FLOOR | 1
3/32" = 1'-0"

SLOW TIDE

SLOWTIDE.STUDIO,
ARCHITECTS
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

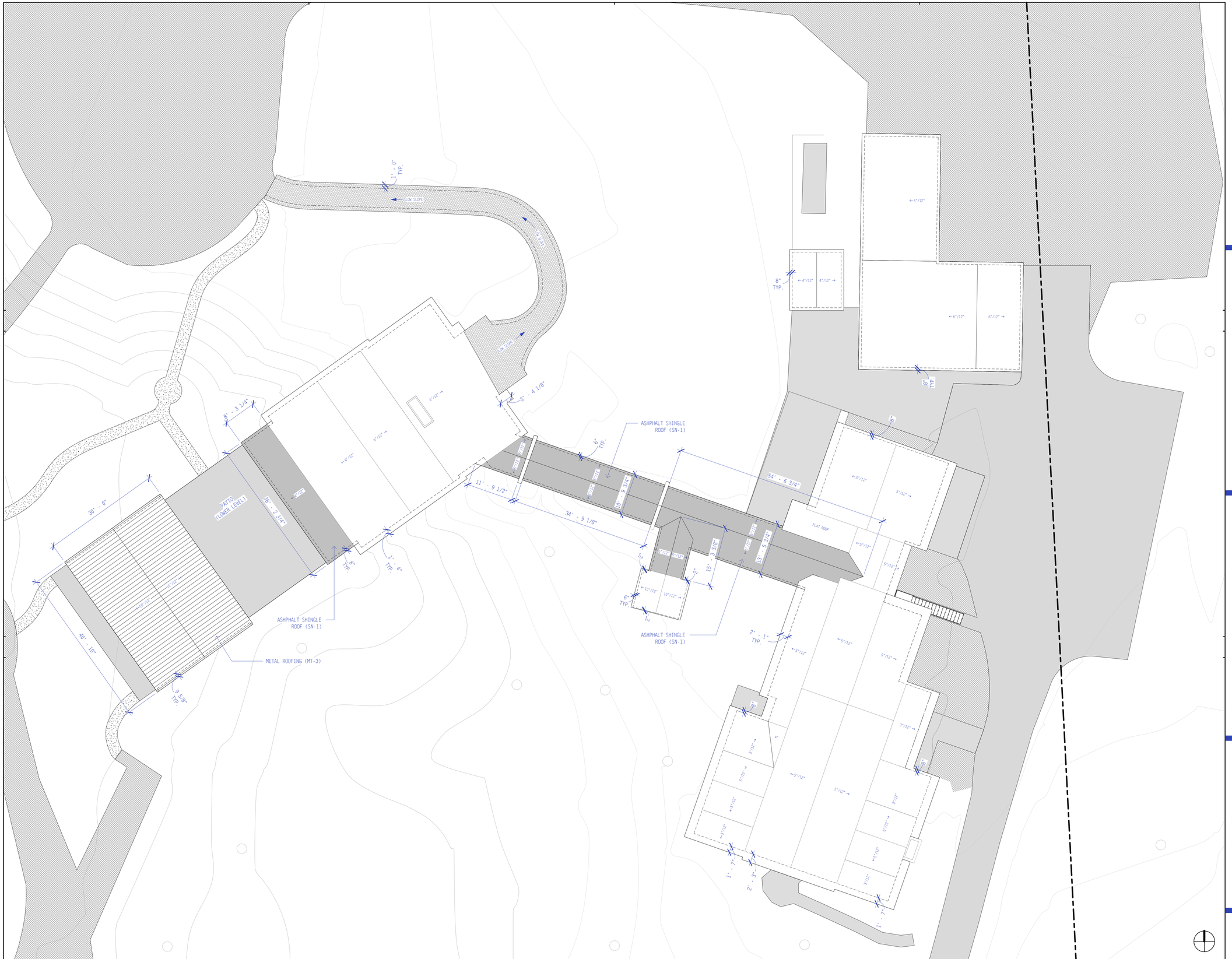
CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

FLOOR PLAN - SECOND FLOOR & BASEMENT
SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
No. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

A-1.02



ROOF PLAN
3/32" = 1'-0"
1

SLOW TIDE

SLOWTIDE.STUDIO.
ARCHITECTS

1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302

HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

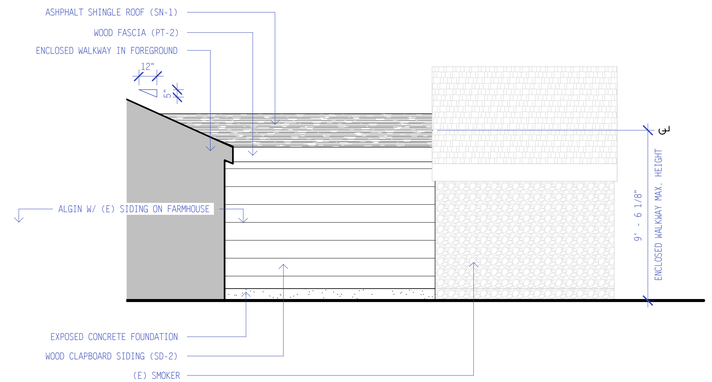
ROOF PLAN

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

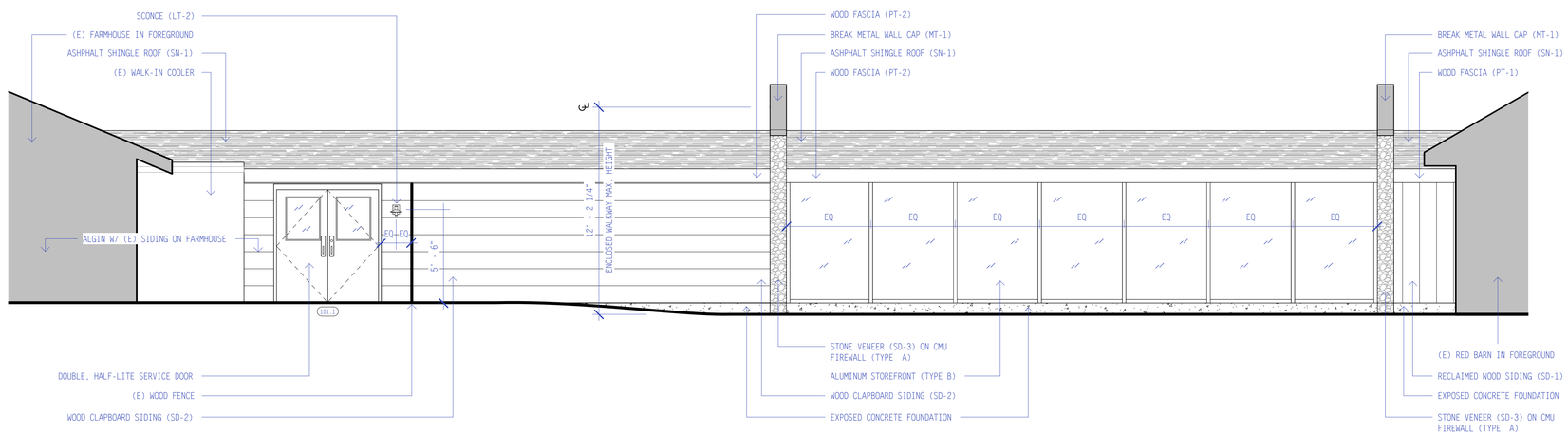
STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
No. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

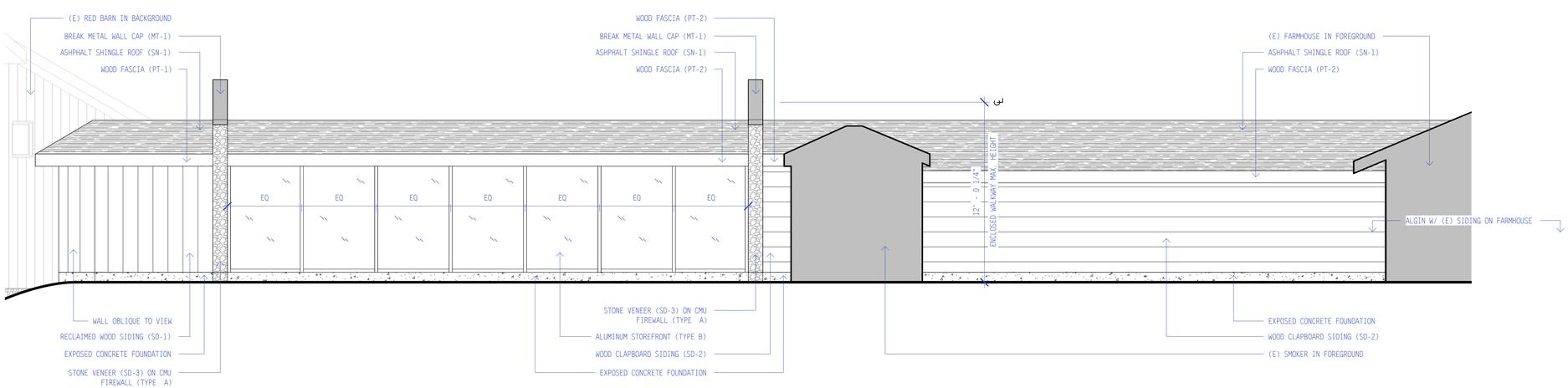
A-1.40



ENCLOSED WALKWAY, W 3
1/4" = 1'-0"



ENCLOSED WALKWAY, N 2
1/4" = 1'-0"



ENCLOSED WALKWAY, S 1
1/4" = 1'-0"

SLOW TIDE

SLOWTIDE.STUDIO.
ARCHITECTS
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

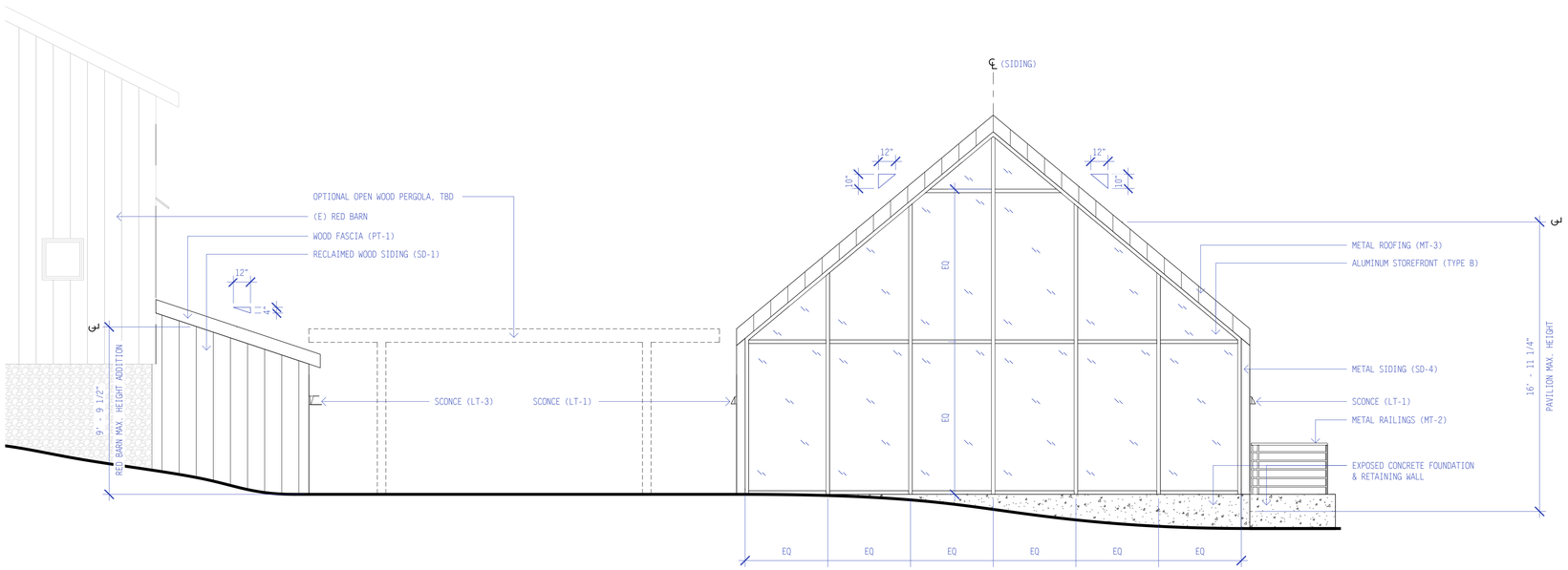
ELEVATIONS - EXTERIOR

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

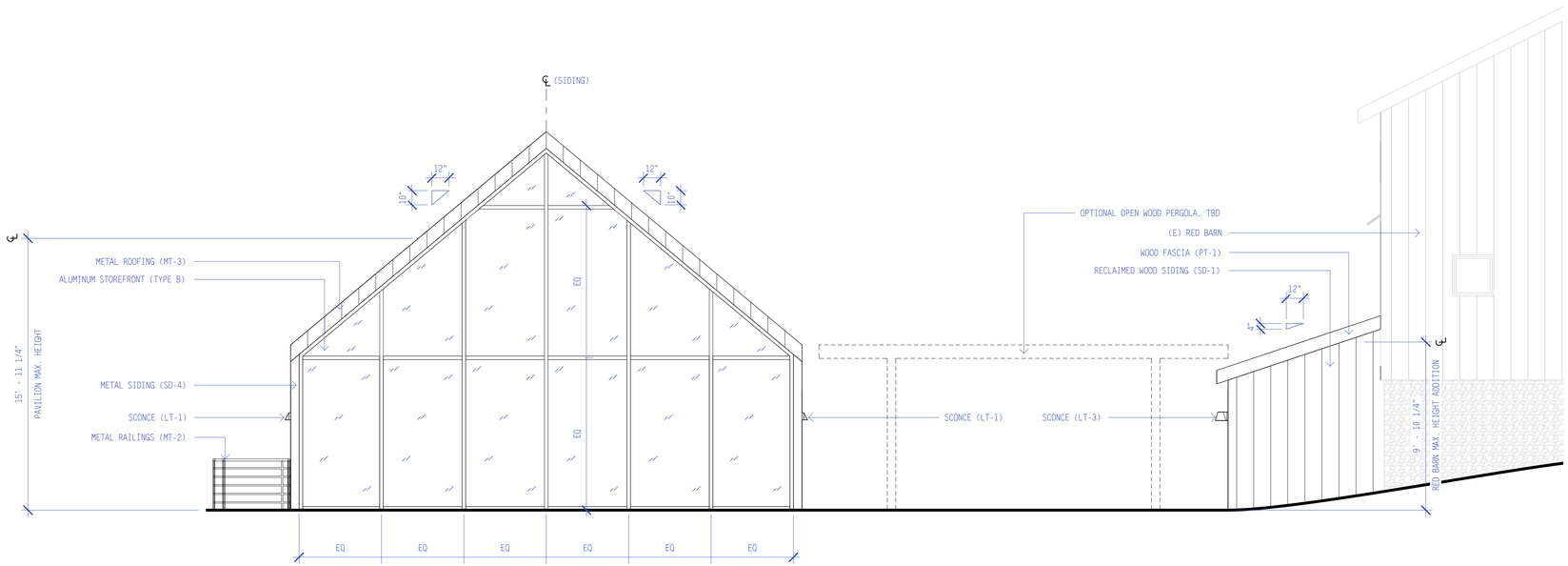
STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
No. 1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

A-2.01



PAVILION & RED BARN, NW 2
1/4" = 1'-0"



PAVILION & RED BARN, SE 1
1/4" = 1'-0"

SLOW TIDE

SLOWTIDE.STUDIO.
ARCHITECTS
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BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

ELEVATIONS - EXTERIOR
SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
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1301072153
LICENSED ARCHITECT

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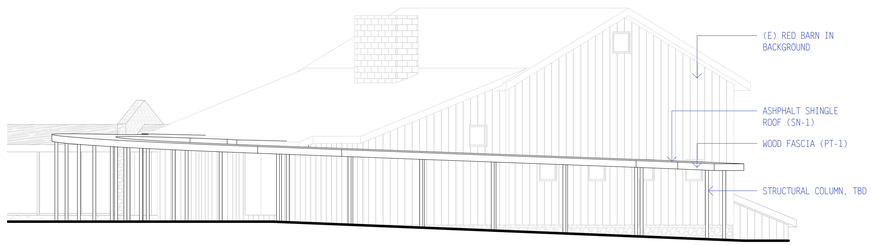
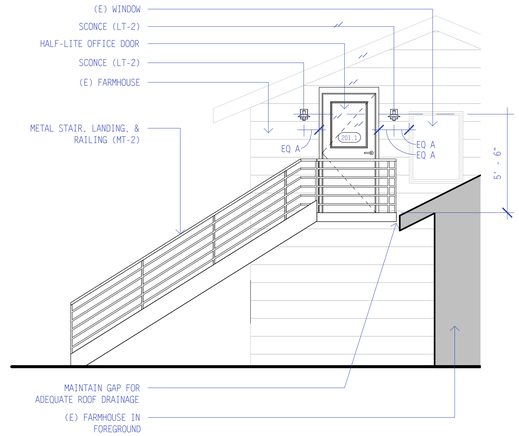
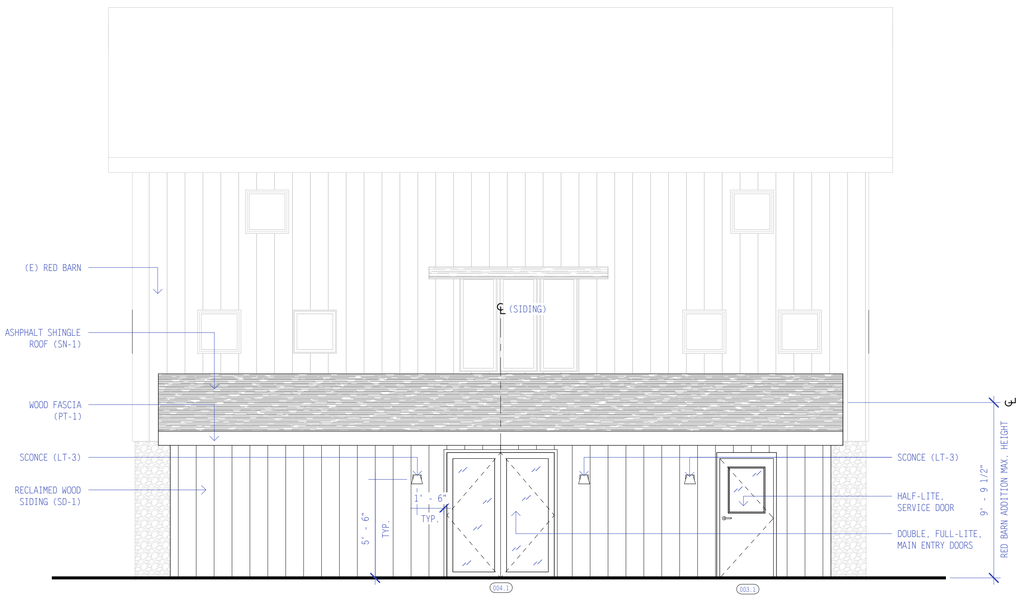
A-2.02



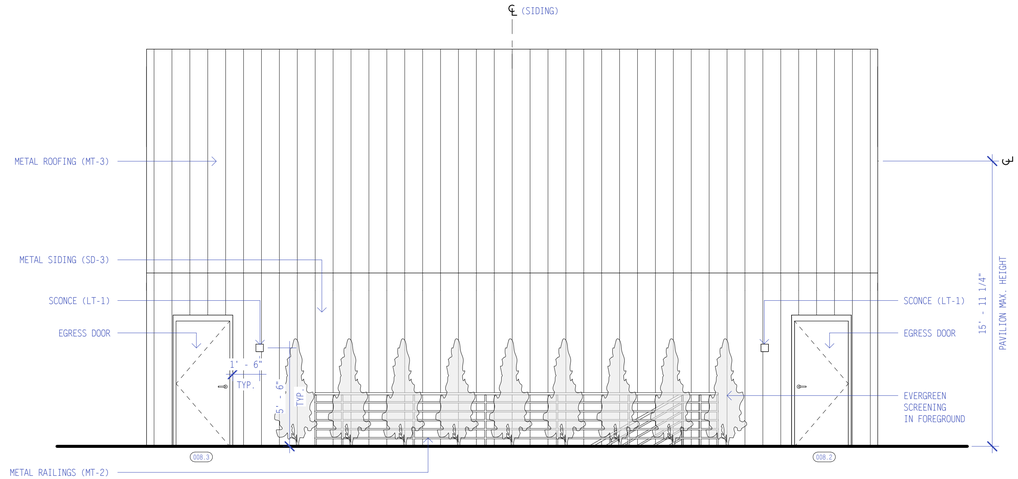
COVERED WALKWAY, N (TYP.) 9
1/8" = 1'-0"



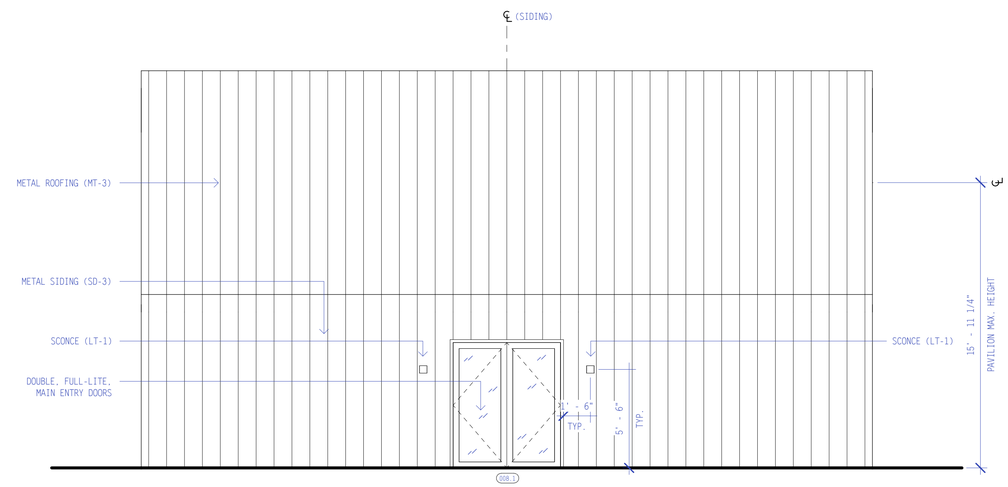
FARMHOUSE, N 3
1/4" = 1'-0"



RED BARN, SW 7
1/4" = 1'-0"



PAVILION, SW 2
1/4" = 1'-0"



PAVILION, NE 1
1/4" = 1'-0"

SLOW TIDE

SLOWTIDE.STUDIO, ARCHITECTS
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

ELEVATIONS - EXTERIOR

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN
BRADLEY DEVRIES
ARCHITECT
1301072153
LICENSED ARCHITECT

PROJECT ISSUE DATE:
10 - 31 - 2023

A-2.03

MP LIGHTING

L933

EXTERIOR
Bollard | For landscape driveways, pathways, and gardens
● Wet, Damp, and Dry location

Ordering Information

Clear Form

Date :

Quantity :

Project :

Note :

Type : SA

Specifications

Luminaire | Example Code: L933-B3-PS-1-8-W30H-N-ELB-WS-S6

Product	Canopy	Mounting	Post Length	Wattage	CCT & CRI [1]	Beam Angle	Accessories (optional) [2]	Shroud [3]	Finish [7]
L933	B3	PS	2	8	W30H	F	ELB	WS	BA
	B3	PS (pipe stake)	1 (305mm) 2 (609mm) 3 (914mm)	8 (8W)	W27H: 2700K 90+ W30H: 3000K 90+	SS (super spot 7°) S (spot 12°) N (narrow 30°) F (flood 48°)	ELB (eggcrate louver)	FS (full shroud) WS (wet location shroud)	Aluminum Finishes: NA (matte clear anodized) BA (black anodized*) Stainless Steel Finishes: SA (stainless steel 316)

System Components (Ordered Separately)

Remote Driver :

* Consult MP Lighting Website or Factory.

Important Notes

Specification

1. *Default pipe stake length: 18" (457mm); field-cuttable*
2. *Refer to pg.7- For Light Quality & Colour Consistency details*
3. *Louver accessory not available with Super Spot beam angle*
4. *S6 finish only available with Wet Shroud.*
5. *Refer to Appendix or MP Lighting website for complete look of Luminaire with different finish options.*
6. *BA (black anodized) needs longer lead time.*

Warranty Notes & Disclaimer

Malfunction and damage to product due to incompatible dimming system or misuse will not be covered under warranty. Consult MP Lighting for recommended drivers. If the fixture has an option to be installed with a dimming control system, consult a dimming system manufacturer with minimum load before installing. MP Lighting reserves the right, at its sole discretion, at any time and without notice, to make design changes to any of our products. Consult MP Lighting website for most updated documentation.

LITHONIA LIGHTING®

Catalog Number	
Notes	
Type	CL1

LDN4CYL

4" CYLINDER
Non-IC

Buy American

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Heavy-gauge aluminum housing.
Ceiling mount for direct installation to 4" octagonal or square junction box.
Pendant mount entry for 3/8" National Pipe Thread stems; wires supplied by others.
Textured polyester powder paint finish standard.
Multiple ceiling, pendant, cord, and wall mount options available.
OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.
LED light source concealed with diffusing optical lens.
General illumination lighting with 1.0-5.9W and 53° cutoff to source and source image.
Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.
ELECTRICAL — Multi-volt (120-277V, 50/60Hz). 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.
347V available option; transformer must be field-installed to an accessible remote-mounted junction box.
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.
70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional); ENERGY STAR® certified product.
BUY AMERICAN — This product is assembled in the USA and meets the Buy American(s) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions
Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

As Capable options indicated by this color background.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN4CYL 35/15 LO4AR LSS MVOLT EZ1 FCM DWHG

LDN4CYL

Series	Color temperature	Lumens	Aperture/Trim Color		Finish	Voltage
LDN4CYL 4" cylinder	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05/ 500 lumens 07/ 750 lumens 10/ 1000 lumens 15/ 1500 lumens 20/ 2000 lumens	LO4/ Downlight LW4/ Wallwash	AR/ Clear WH/ White BF/ Black	LSS/ Semi-specular LD/ Matte diffuse LS/ Specular	MVOLT/ Multi-volt 120/ 120V 277/ 277V

Driver[1]	Mounting	Options		Architectural Colors[10,11]
EZ10/ 0-10V driver dims to 10% EZ1/ 0-10V driver dims to 1% EZ10/ 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10% EZ1/ 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	FCM/ Ceiling mount WM/ Wall mount PM[2]/ Pendant 3/8" thread mount ACC[3]/ 10ft aircraft cable and cord mount ACC100[3]/ 15ft aircraft cable and cord mount	SF[4]/ Single fuse NPTSLO[5,6]/ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (EZ10, EZ1), ER controls fixtures on emergency circuit. NPTSIOEX[5,6]/ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (EZ10, EZ1), ER controls fixtures on emergency circuit. NPSANLE[5,6]/ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). NPSANLEER[5,6]/ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1), ER controls fixtures on emergency circuit. 90CRI/ High CRI (90+). WL[7]/ Wet location	DWHG/ Matte white (standard) DDB/ Dark bronze DBL/ Black DWH/ Gloss white DMB/ Medium bronze DNA/ Natural aluminum DSS/ Sandstone DGC/ Charcoal grey DTG/ Tennis green DBR/ Bright red DSB/ Steel blue

Notes

1. Not available in ACC mount.
2. Not available with finishes.
3. Refer to TECH 240 for compatible dimmers.
4. Supplied with 10" supply and dimming connections.
5. White cord supplied with white housing. All other finishes supplied with black cord.
6. Must specify voltage: 120V or 277V.
7. Specify voltage: ER for use with generator supply EM power. Will require an emergency feed feed and normal hot feed.
8. Interface remote mounted. Access panel (supplied by others) recommended.
9. Not available with ACC & ACC100 mounting options.
10. Additional architectural colors available; see www.lithonia.com/archcolors.
11. Color and length of cords must be specified (from 6" to 240" in even increments in maximum sections of 40"). ex. CFCORD DWHG. Ceiling attachment for interior use. Consult factory for exterior use.
12. Must be field-installed to an accessible remote-mounted junction box.

SITE PLAN LEGEND

(#) LEGEND SYMBOL INDICATOR

GENERAL SITE ELECTRICAL NOTES

A. ALL CONDUITS BELOW PAVED AREAS SHALL BE BURIED PER NEC REQUIREMENTS BUT A MINIMUM OF 3'-0" BELOW GRADE.

B. ALL CONDUITS BELOW GRASS AREAS SHALL BE BURIED PER NEC REQUIREMENTS BUT A MINIMUM OF 2'-0" BELOW GRADE.

C. COORDINATE CONDUIT INSTALLED FOR UTILITIES WITH RESPECTIVE UTILITY. PROVIDE STEEL PULL WIRE AND MEASURE PULL STRING IN EACH CONDUIT. ALL ELBOWS SHALL BE LONG SWEEP R.M.C.

D. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH PULL STRING.

N
PLAN

ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"

WPF ENGINEERING, LLC
8200 PEACHTREE AVE
ROCKFORD, MI 49341
WWW.WPF-ENGINEERING.COM

STATE OF MICHIGAN
MICHAEL VINCENT JOHNSON
ENGINEER No. 53217
LICENSED PROFESSIONAL ENGINEER

MICHAEL V. JOHNSON, P.E.
MI - REGISTRATION # 6201053217
EXP. DATE - 3/13/2025

EXPANSION FOR
CORNMAND FARMS
8540 ISLAND LAKE ROAD
DEXTER TOWNSHIP, MICHIGAN 48130

D.B. MVJ
A.B. MVJ

DATE	ISSUED FOR
10/31/23	S.P.A. & S.L.U DOCUMENTS

DRAWING NAME
ELECTRICAL SITE PLAN

DRAWING NUMBER
ES101

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10/30/2023 11:05:14 AM
Autodesk Docs://Greenpath - Zhygerman Cornman Expansion/23060SE22.rvt

November 7, 2023

From: Amber Han, Owner, Park Avenue Salon
To: Tabitha Mason, Managing Partner at Cornman Farms

As a resident in the vicinity of Cornman Farms, I have had the privilege of witnessing the positive impact the farm has had on our community. Their events have always been well-organized and respectful of the surrounding environment, but I understand that the noise and traffic associated with outdoor tent events can be a concern for some.

I wholeheartedly support Cornman Farms' vision for these transformations and believe that the transition to smaller, more intimate events will further foster a sense of community among residents and visitors alike.

I encourage the Planning Commission to approve these changes and support the ongoing efforts of Cornman Farms to be a responsible and considerate neighbor. These changes will not only benefit the farm but also ensure that it continues to be a valuable asset to our community. We are confident that this shift will contribute to a more enjoyable and peaceful atmosphere for everyone living nearby.

Amber Han

11/21/23

Dexter Township
6880 Dexter Pinkney Rd.
Dexter, MI 48130

Joe & Elizabeth Weiss
3139 Island Hills Dr.
Dexter, MI 48130

To Whom it May Concern,

We recently found out that our neighbors across the street, Cornman Farms, want to make some changes to their property. If we understand correctly, they would like to build a cover over the walkway from the house to the barn as well as an indoor area for ceremonies. We think this is a win-win for us and other neighbors and would like to let you know Cornman Farms has our full support for these changes. They have been a great asset to our community and have a beautiful property and we think the changes they are proposing will only make it better. Thank you for your consideration.

Thank you,

Joe & Elizabeth Weiss

Dexter Township Office
6880 Dexter-Pinckney Road
Dexter, MI. 48130

November 13, 2023

To Whom It May Concern:

My husband and I are relatively new residents of Dexter Township and we live on Island Lake Road. We were recently made aware of some changes that may be happening at Cornman Farms down the road from us. From what we have heard, Tabitha and Kieron were planning on making the events space in a smaller footprint, which would allow for less people to attend, as well as adjusting the start and end times to make them end a little earlier than what was previously offered.

As nearby residents, we would welcome the change wholeheartedly as they would alleviate traffic in the area as well as some late night noise in what is typically a quiet country-like atmosphere and one of the main reasons that we moved to the area from Livonia.

Please consider the change to Cornman Farms for the benefit of the residents who live nearby and travel the area daily.

Sincerely,

Marion and Tim Sexton

Decision Criteria Review:

The Zoning Board of Appeals shall have the power to authorize specific variances from the standards of the Zoning Ordinance provided that the spirit of that Ordinance is observed, the public safety secured, and substantial justice done. All the required findings listed below shall be met and the record of proceedings of the Zoning Board of Appeals shall contain evidence supporting each conclusion.

A) Allow 24,325 sq.ft. of building coverage instead of the maximum of 11,543 sq.ft.

(1) Practical Difficulty *29.06(C)(1)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
The strict application of the terms of this Ordinance would constitute a practical difficulty.	

(2) Physical Conditions *29.06(C)(2)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
The practical difficulty is due to some physical condition peculiar to the property involved.	

3) Self-Created *29.06(C)(3)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
The practical difficulty is not self-created.	

(4) Reasonable Amount Necessary *29.06(C)(4)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
The variance is a reasonable amount necessary to mitigate the practical difficulty.	

(5) Public Health, Safety, and Welfare *29.06(C)(5)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
Approval of the variance will not be injurious to the public health, safety, and welfare.	

(6) Adjacent Properties *29.06(C)(6)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
Approval of the variance will not affect the use of the adjacent properties or the area in a substantially adverse manner.	

(7) Intent of the Ordinance *29.06(C)(7)* **Does the requested variance meet the following standard:**	**A** 16.12 Footnotes – 11,543 sq.ft. Maximum Building Coverage Exceptions
Approval of the variance is consistent with the intent and purpose of this Ordinance.	

Petition Information:

Petition Number:	(23-ZBA-007)
Applicant(s):	Alan and Linda Selbert
Project Description:	Build a 1.5 story home that will provide approx. 2,300 sq.ft. of living space on the ground level. Overall footprint with garage and porch will be approx. 3,000 sq.ft. Ground level will include two bedrooms, large width doors/hallways to allow continued care of father/father-in-law. Upstairs will be a loft design for guest room and den/craft room.
Petition Description:	*a) Request for variance from Section 16.34(A) requiring when there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings*
Property Location:	9586 Winston Rd. (D-04-02-401-019)

Property Information:

Existing Zoning:	Lakes Residential (LR) *The Lake Residential District provides opportunities for relatively high-density residential uses in a manner that is consistent with the unique physical, economic, and social characteristics of lakefront properties. The regulations applicable to properties in this district are intended to provide opportunities for the recreational uses that are consistent with the character of these lake areas, while protecting the Township's waters and other natural resources by fostering a healthy environment that enhances the use and enjoyment of these areas. Infill development that is consistent with the character of established neighborhoods should be supported.*
Existing Land Use:	Single-family Residential
Future Land Use Map:	Lakes Residential
Area:	14,374.8 square feet, .33 acres

Zoning Information:

	North	East	South	West
Surrounding Zoning	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)/General Commercial District (C)*
Surrounding Land Uses	*Single-family Residential*	*Single-family Residential*	*Single-family Residential*	*Single-family Residential/Commercial*
Future Land-Use Map	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)/Commercial (C)*

Project Narrative:
The subject property is a vacant parcel. The applicant is proposing a new single-family residential home including 2 bedrooms and a loft, with a 40' waterbody setback.

A waterbody setback is defined for Lake Residential in Section 7.02 as 50 feet, or as described in Section 16.34, whichever is less. Section 16.34(A) requires when there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings. The waterbody setback shall never be less than 35 feet.

Applicable Land Use Standards:

The following table lists the requested variance for the proposed project and the Zoning Ordinance standard.

Ordinance Section	Required	Requested	Notes
16.34(A)	*Straight line between adjacent buildings*	*40' waterbody setback*	*N/A*

Recognition of Nonconformities:
- Existing non-conforming lot. Minimum lot size in Lakes Residential zoning district is 0.5 acres if served by off-site septic or sewer. Subject lot is 0.33 acres.

Other Department Comments:
N/A

Potential Conditions:
Potential conditions are developed prior to a public hearing and are intended to aid the Zoning Board of Appeals review. The Zoning Board of Appeals may adopt the above condition(s), adopt additional or other condition(s), or adopt no conditions if a variance is approved.

Attached Materials:

- Variance Application
- Plot Plan/Elevations/Images
- Survey/ Legal Description
- Decision Criteria Review
- Letter of Support

DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767
FAX: 734-426-3833
WWW.DEXTERTOWNSHIP.ORG

VARIANCE APPLICATION FORM

File #:	-ZBA-
Received on:	
Fee: $	
Receipt #:	

(1) Applicant Information: *(the person(s) applying for the variance(s))*

a. ☐ Owner ☒ Agent for the Owner *(check one)*

b. Name(s)
ALAN & LINDA SELBERT

c. Mailing Address
8680 DEXTER-PINCKNEY RD.
PINCKNEY, MICHIGAN 48169

d. Phone Number
734-585-4200

e. Email
ALSINMAUI@GMAIL.COM

(2) Owner Information: *(the person(s) owning the property)*

a. ☐ Same as Applicant *(check if appropriate)*

b. Name(s) *(if different from applicant)*
ANDREW & NICOLE HORNING

c. Mailing Address *(if different from applicant's mailing address)*
2451 MAUTE RD.
GRASS LAKE, MICHIGAN 49240

d. Phone Number *(if different from applicant's phone number)*
517-416-4377

e. Email *(if different from applicant's email)*
ANDREWHORNINGJR@CMSENERGY.COM

(3) Property Information: *(property where the variance is being requested)*

a. Physical Address *(city and zip code not required)*
9586 WINSTON RD.

b. Parcel/Tax ID Number(s)
D-04-02-403-002

c. Zoning District *(circle one)*
PL AG RC RR (LR) CU MHPR C-1

d. Size and nature of existing structures on and uses of the property:
THERE ARE NO STRUCTURES ON THIS LOT DUE TO PREVIOUS FIRE.

(4) Application Checklist: *Check all of the information that is included as part of this application. Items a-e are required for all variance applications.*

Item and Description	YES	NO	Attachment Number
a. ***Application.*** A completed variance application signed by the applicant and the property owner(s).	☒	☐	*n/a*
b. ***Application Fee.*** Cash or check to Dexter Township, as outlined in the current fee schedule.	☒	☐	*n/a*
c. ***Site Plan or Plot Plan.*** A complete plot or site plan, as outlined in §26.03 or §27.09 of the Zoning Ordinance. One (1) copy is required if the Township is able to make reproductions *(legible letter, legal or 11x17 sheets)*. Eight (8) copies are required if the Township is not able to make reproductions *(larger sheets, color prints, etc)*. Please contact staff if you have any questions before submitting this application.	☒	☐	#1
d. ***Legal Description.*** A legal description of the property for which the variance is being requested.	☒	☐	#2
e. ***Survey.*** A mortgage or boundary survey of the property for which the variance is being requested.	☒	☐	#1
f. ***Building Plans.*** Plans illustrating the floor plans, elevations, and sections of buildings or details of the structure. *Required for all variance applications involving a structure.*	☐	☒	N/A
g. ***Sewer District Approval.*** Approval of the Multi-Lakes Water and Sewer Authority or the Portage Lakes Area Water and Sewer Authority. *Required for all properties located within a sewer district.*	☒	☐	incl.
h. ***Decision Criteria Answers.*** Answers to the decision criteria, if not fully completed in Section 7 of this application.	☐	☐	incl.
i. ***Letters of Support.*** Letters of support or non-objection from neighboring property owners or signatures on a petition.	☐	☐	
j. ***Pictures.*** Pictures of the property and the area affected by the variance request.	☒	☐	#3
k. ***Other.*** Describe:	☐	☐	

(5) Project Description: *Describe the project in general- what is being built, how big is it, etc.*

Build a 1½ STORY HOME THAT will PROVIDE APPROX. 2300 sq ft of LIVING SPACE ON THE GROUND LEVEL. OVERALL FOOTPRINT WITH GARAGE & PORCH WILL BE APPROX. 3000 sq ft. GROUND LEVEL will INCLUDE TWO BEDROOMS, LARGE WIDTH DOORS/HALLWAYS TO ALLOW US TO CONTINUE CARE of FATHER/FATHER-IN-LAW A DISABLED VETERAN. UPSTAIRS will BE LOFT DESIGN for GUEST ROOM & DEN/CRAFT ROOM.

VARIANCE APPLICATION FORM

File #: -ZBA-

(6) Variance(s) Description: *Describe the variance(s) being requested. Attach additional sheets if necessary.*

a. Ordinance Section	b. Requested	c. Required	d. Description of Variance Request
a) 16.34A	40' FROM WATER	50' FROM WATER	DUE TO EXTREME CONDITION of NEIGHBOR BLDG. ON THE R.O.W. LINE
b)			
c)			
d)			
e)			
f)			
g)			

(7) Decision Criteria Answers: *Please describe how you think your variance(s) meets all of the following standards. Attach additional sheets if necessary. You will have an opportunity to provide additional information and address these decision criteria at the public hearing.*

a. The strict application of the terms of this Ordinance would constitute a practical difficulty. *§29.06(C)(1)*

THE ADJACENT ALINGMENT CONDITION IS EXTREME AND DRIVEN BY THE PHYSICAL CONDITION EXPLAINED BELOW. THE ALTERNATIVE 50' WATER SET BACK AND SIZE of THE PROPERTY DOES NOT ALLOW for SUFFICIENT / REQUIRED SQ. FOOTAGE.

b. The practical difficulty is due to some physical condition peculiar to the property involved. *§29.06(C)(2)*

THE NEIGHBORS BUILDING IS CONSTRUCTED FORWARD of THE R.O.W. LINE "NOT" 25' INSIDE of IT (CODE). THIS CREATES AN EXTREME CONDITION. IF IT WERE BUILT TO CODE IT WOULD BE BACK 25'+ AND from WATER, ALIGNED WITH OTHER STRUCTURES ALLOWING US TO MEET THE 16.34A CODE.

c. The practical difficulty is not self-created. *§29.06(C)(3)*

IT IS NOT.

d. The variance is a reasonable amount necessary to mitigate the practical difficulty. *§29.06(C)(4)*

YES, WE ARE ASKING for 40' vs. THE MINIMUM of 35' AND FOUR of THE 6 NEIGHBORING PROPERTIES ARE INSIDE THE 40' SETBACK. THEY RANGE from 20'4 TO 40.3

e. Approval of the variance will not be injurious to the public health, safety, and welfare. *§29.06(C)(5)*

NO, IT WILL NOT

f. Approval of the variance will not affect the use or value of the adjacent properties or the area in a substantially adverse manner. *§29.06(C)(6)*

NO, IT WILL NOT – WE BELIEVE IT SHOULD HELP INCREASE THE VALUE of NEIGHBORING PROPERTY. WE SEE LITTLE TO NO IMPACT for LAKE VIEWS. WE UNDERSTAND THE IMPORTANCE of THIS & INCLUDED IMAGES IN PHOTO ATTACHMENTS

g. Approval of the variance is consistent with the intent and purpose of this Ordinance. *§29.06(C)(7)*

YES

h. ☐ I prefer not to share these decision criteria answers with the Zoning Board of Appeals members.

VARIANCE APPLICATION FORM

File #: -ZBA-

(8) Applicant(s) Affidavit: *(to be signed and dated by the applicant)*

- *I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.*
- *I acknowledge that approval of a variance only grants that which was presented to the Zoning Board of Appeals.*
- *I acknowledge that I have received and reviewed the Dexter Township "Variance Guide" booklet.*
- *I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.*
- *I understand that I must post the public notice sign and mark the location of proposed structure and lot corners and lot lines of my lot that are within 100 feet of the proposed structure at least 15 days before the public hearing date.*
- *I understand that the house or property must be marked with the street address clearly visible from the roadway.*
- *I understand that a Zoning Permit is required prior to construction if a variance is granted.*

Alan Selbert — *Applicant's Signature* — Date: 11-2-2023

Linda Selbert — *Applicant's Signature* — Date: 11/7/2023

(9) Property Owner(s) Affidavit: *(to be signed and dated by the property owner(s) if the applicant is not the property owner- it should be signed by all property owners.)*

I, Andrew Horning *hereby state that I am the owner of the property described in this application and that I have authorized* Alan Selbert *to act as my agent for the purpose of obtaining the variance(s) described in this application.*

Andrew Horning — *Property Owner's Signature* — Date: 11/8/2023

Nicole Horning — *Property Owner's Signature* — Date: 11/8/23

(10) Administrative Section:

☐ **Request Approved** *(List conditions- if any.)*

☐ **Request Denied** *(List reasons.)*

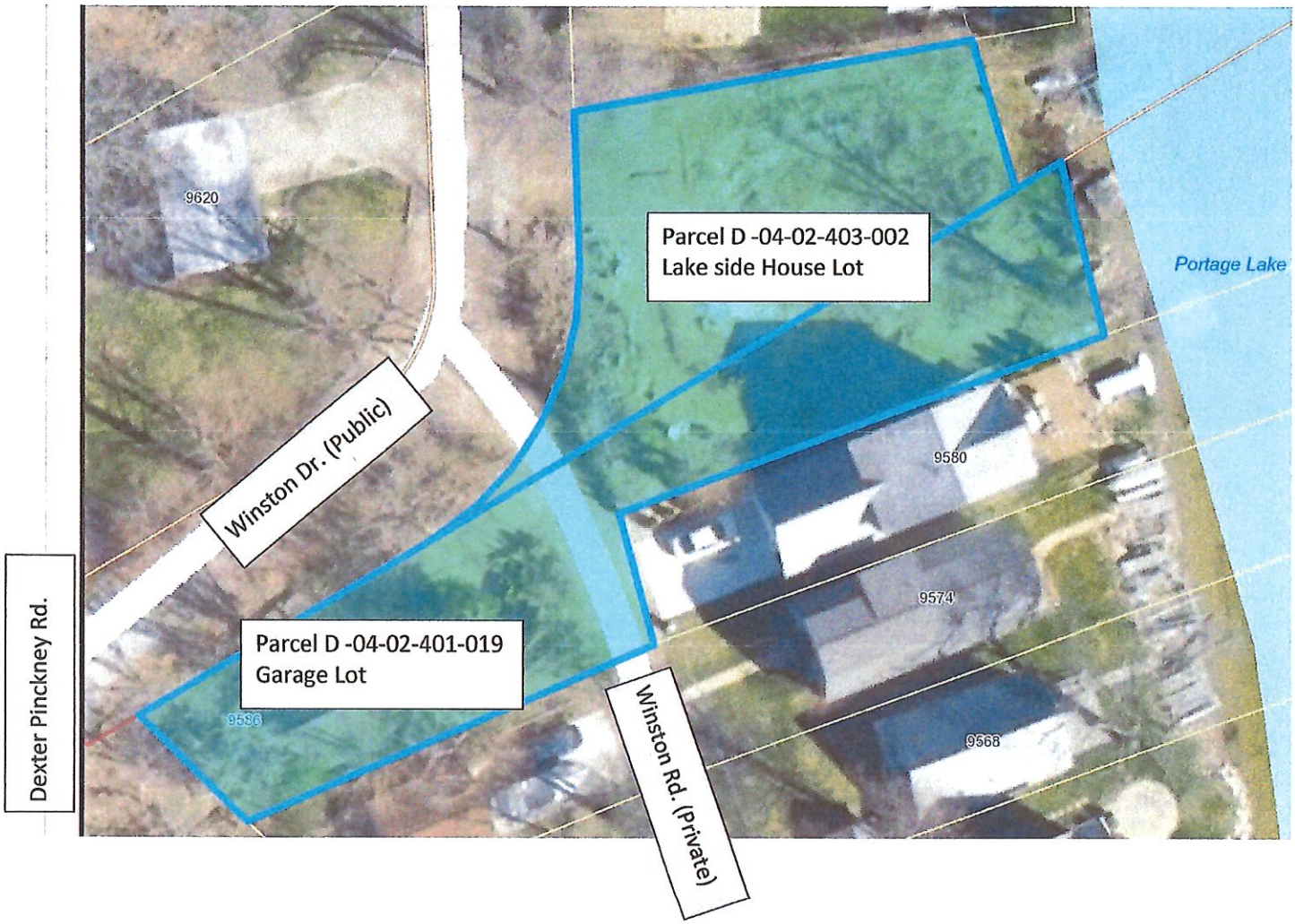
☑ **Request Amended**

New file #

Date Submitted:

9586 Winston Road, Pinckney Michigan

Property consists of two parcels a lake side parcel D -04-02-403-002 and a backparcel D -04-02-401-019



We are Purchasing the property shown above contingent on approval of the enclosed Variances. We are asking for a Variance to Ordinance 16.34-A Waterbody Setback on the Lakeside lot and a Variance to Ordinance 7.07 Road Setback on the Garage lot. Both Lots have unusual situations that drive these requests.

We have invested in professional surveys of the property and have provided stakes showing the Variance requests on both parcels for viewing/clarity to both neighbors and Township authorities. We (property buyers, Builder and Architect) have met with the Township Zoning Officer and Consultant to ensure full understanding of Ordinance restrictions and reasonable proposals. We have Site and Plot plans but have not yet invested in Building plans (due to costs/timing) but are prepared and will do so upon Variance approvals.

Enclosed are both Variance requests and supporting documentation.

We appreciate the help of the Dexter Township Zoning office and your fair consideration.

Buyer/Presenter - Al & Linda Selbert
Owner/Seller - Andrew & Nicole Horning

TOPOGRAPHIC AND BOUNDARY SURVEY

LEGEND

FCIP	FOUND CAPPED IRON PIPE
FCIR	FOUND CAPPED IRON ROD
FIP	FOUND IRON PIPE
FMN	FOUND MAG NAIL
F	FOUND MONUMENT
S	SET IRON ROD
O	EXISTING FENCE POST
	EXISTING WATER WELL
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
U.P.	EXISTING UTILITY POLE
295.00	EXISTING GROUND ELEVATION
	UNDERGROUND GAS MARKER
(R)	RECORD
(M)	MEASURED
	BOUNDARY LINE
	BOUNDARY ADJACENT LINE
OHE	OVERHEAD UTILITY LINE
000	EXISTING GROUND CONTOUR
	EXISTING BUILDING
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY

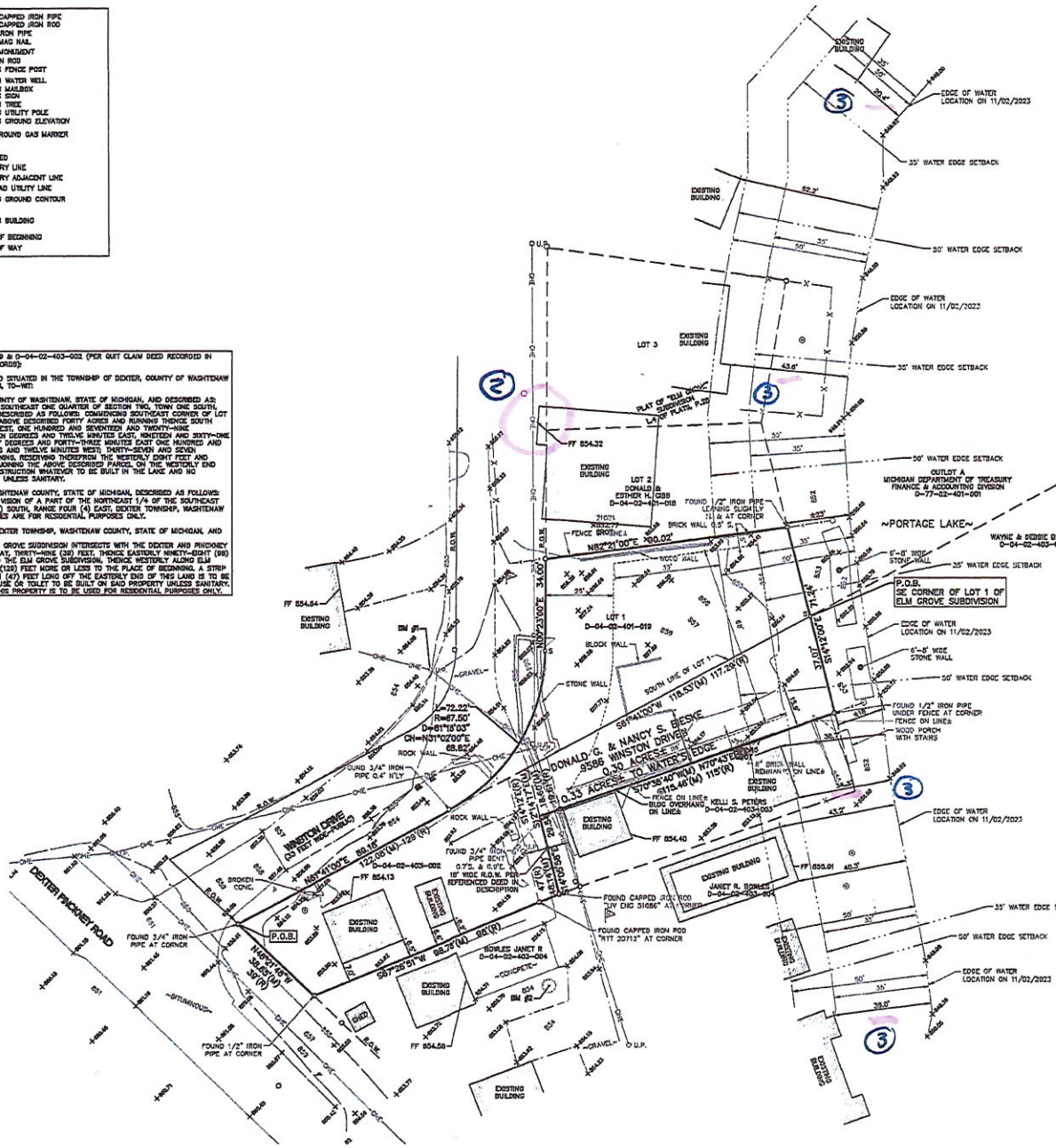
DESCRIPTION OF TAX PARCELS D-04-02-401-019 & D-04-02-403-002 (PER QUIT CLAIM DEED RECORDED IN LIBER 2139, PAGE 928, WASHTENAW COUNTY RECORDS):

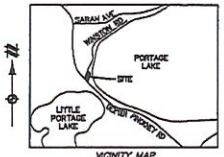
ALL THOSE CERTAIN PIECES OR PARCELS OF LAND SITUATED IN THE TOWNSHIP OF DEXTER, COUNTY OF WASHTENAW AND STATE OF MICHIGAN, DESCRIBED AS FOLLOWS, TO-WIT:

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, COUNTY OF WASHTENAW, STATE OF MICHIGAN, AND DESCRIBED AS: PART OF THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION TWO, TOWN ONE SOUTH, RANGE FOUR EAST, MERIDIAN OF MICHIGAN AND DESCRIBED AS FOLLOWS: COMMENCING SOUTHEAST CORNER OF LOT ONE OF ELM GROVE SUBDIVISION OF A PART OF ABOVE DESCRIBED FORTY ACRES AND RUNNING THENCE SOUTH SIXTY-ONE DEGREES AND FORTY-ONE MINUTES WEST, ONE HUNDRED AND SEVENTEEN AND TWENTY-NINE ONE-HUNDREDTHS FEET; THENCE SOUTH FOURTEEN DEGREES AND TWELVE MINUTES EAST, NINETEEN AND SIXTY-ONE ONE-HUNDREDTHS FEET; THENCE NORTH SEVENTY DEGREES AND FORTY-THREE MINUTES EAST ONE HUNDRED AND FIFTEEN FEET; THENCE NORTH FOURTEEN DEGREES AND TWELVE MINUTES WEST, THIRTY-SEVEN AND SEVEN ONE-HUNDREDTHS FEET TO THE PLACE OF BEGINNING, RESERVING THEREFROM THE WESTERLY EIGHT FEET AND GRANTING A STRIP OF LAND EIGHT FEET WIDE ADJOINING THE ABOVE DESCRIBED PARCEL ON THE WESTERLY END FOR A RIGHT OF WAY SIXTEEN FEET WIDE. NO OBSTRUCTION WHATEVER TO BE BUILT IN THE LAKE AND NO OUTHOUSE OR TOILET TO BE BUILT ON PROPERTY UNLESS SANITARY.

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOT NUMBERED ONE (1), OF ELM GROVE, A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST QUARTER OF SECTION TWO (2), TOWNSHIP ONE (1) SOUTH, RANGE FOUR (4) EAST, DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN. THE ABOVE PREMISES ARE FOR RESIDENTIAL PURPOSES ONLY.

REAL ESTATE LOCATED IN SECTION TWO (2) IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
COMMENCING AT AN IRON STAKE WHERE THE ELM GROVE SUBDIVISION INTERSECTS WITH THE DEXTER AND PINCKNEY HIGHWAY, THENCE SOUTHERLY ALONG SAID HIGHWAY, THIRTY-NINE (39) FEET, THENCE EASTERLY NINETY-EIGHT (98) FEET, THENCE NORTHERLY FORTY-SEVEN FEET TO THE ELM GROVE SUBDIVISION, THENCE WESTERLY ALONG ELM GROVE SUBDIVISION ONE HUNDRED TWENTY-NINE (129) FEET MORE OR LESS TO THE PLACE OF BEGINNING. A STRIP OF LAND EIGHT (8) FEET WIDE AND FORTY-SEVEN (47) FEET LONG OFF THE EASTERLY END OF THIS LAND IS TO BE USED FOR THE RIGHT OF WAY ONLY. NO OUT HOUSE OR TOILET TO BE BUILT ON SAID PROPERTY UNLESS SANITARY. RIGHT TO USE WALK DEEDED AS PUBLIC WALK. THIS PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY.





NOTES:
1) SEE "TO SCALE" DWG FOR DETAIL & DIMENSIONS
2) NEIGHBORING HOUSE'S BUILT INSIDE THE R.O.W. WITH "NO" SETBACK & 25'
3) NEIGHBORING HOMES HAVE SETBACKS SIMILIAR TO THE VARIANCE REQUEST OF 40'
- 20.4'
- 43.6
- 34.3
- 40.3

BENCHMARKS:
VERTICAL DATUM IS BASED ON NAVD88.

BM #1: MAG NAIL IN UTILITY POLE
ELEVATION: 853.51 (NAVD88)

BM #2: BENCH TIE IN TWIN 12" WALNUT
ELEVATION: 855.27 (NAVD88)

BASIS OF BEARING:

BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 1 OF ELM GROVE SUBDIVISION, BEING N89°41'E.

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND HEREON PLATTED AND/OR DESCRIBED ON JULY 18, 2018 ALSO ACQUIRED ADDITIONAL FIELD MEASUREMENTS FOR BUILDINGS ON THE VICINITY OF THE SUBJECT PARCEL AND RE-MEASURED LAKES' WATER EDGE, AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WERE NOT GREATER THAN 1/5000.

ATWELL, LLC

DATE

CHRISTOPHER P. KELLY
PROFESSIONAL SURVEYOR NO. 56500
ckelly@atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

CLIENT: DONALD BIESKE
BOUNDARY & TOPOGRAPHIC
SECTION 2 TOWNSHIP 1 SOUTH RANGE 4 EAST
DATE 08
SCALE 1" =
DR. JE
P.M. J.
BOOK
JOB 1
SHEET NO.

ATTACH #1

SECTION 7.02

Site Development Standards

The following minimum and maximum standards shall apply to all uses and structures in the District unless specifically noted.

Minimum Lot Area	43,560 square feet (1 acre) for lots served by on-site septic 21,780 square feet (0.5 acres) for lots served by off-site septic or sewer
Minimum Lot Width	Fifty (50) feet
Front yard Setback	Footnote 1, 2, 3
Side Yard Setback	Five (5) feet, except as otherwise provided below: • For buildings with a height greater than eighteen (18) feet, the side yard setback shall be increased at a ratio of one (1) foot for every three (3) feet, or fraction thereof, of building height over 18 feet.
Rear Yard Setback	30 feet
Waterbody Setback	50 feet or as described in Section 16.34 Waterbody Setbacks, whichever is less. The waterbody setback shall never be less than 35 feet.
Wetland Setback	Ten (10) feet
Building-to-Building	Ten (10) feet
Maximum Height	30 feet
Maximum Lot Coverage	30 percent for buildings 45 percent for all impervious surfaces
Permitted Projections	Section 16.35 Permitted Projections

Applicable provisions of Article 18 Off-Street Parking and Loading; Article 19 Signs; Article 20 Landscaping and Screening; Article 21 Lighting; Article 22 Access Controls; Article 23 Environmental Standards; Article 24 Nonconforming Uses; and other provisions of this Ordinance as may be applicable.

SECTION 7.03

Principal Permitted Uses

The following are principal permitted uses in the District:

- Single-family dwellings
- Day care or foster care facility, family home
- Recreation site dedicated for a platted subdivision or site condominium
- Polling place

SECTION 7.04

Accessory Permitted Uses

- Accessory dwellings[4]
- Home occupations
- Accessory uses customarily incidental and subordinate to the permitted principal use
- Signs
- Solar energy systems designed exclusively for on-premises consumption
- WECS, micro
- Wireless communication facility, minor colocation

ATTACH #1

the lot

7) ***Roadside Stands:*** Roadside stands shall also meet the standards outlined in Section 17.03(D) Roadside Stands.

8) ***Accessory Buildings:*** For temporary accessory buildings, see Section 16.11(E) Temporary accessory buildings.

SECTION 16.34

Waterbody Setbacks

Structures shall not be permitted within the required waterbody setback. This shall not apply to certain minor accessory structures, including, but not limited to, docks, seawalls, retaining walls, sidewalks, and low decks and patios. The minimum waterbody setback from the ordinary high-water mark shall be the distance defined for the waterbody setback in the underlying district, except as follows:

(A) Adjacent Buildings: When there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings.

Figure 16.4: Waterbody Setback – Adjacent Buildings

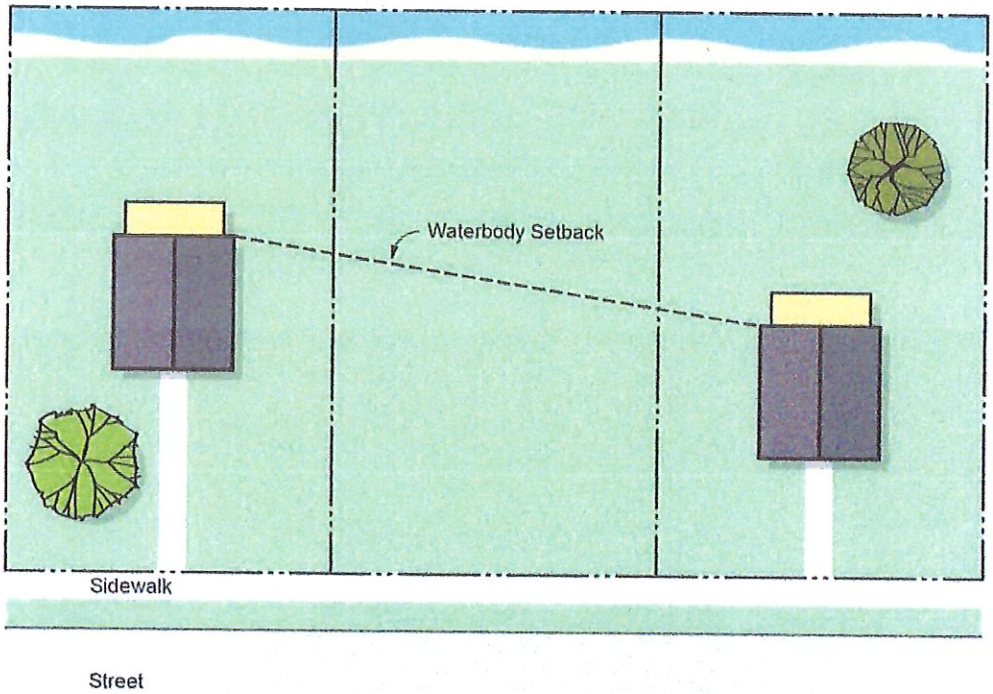
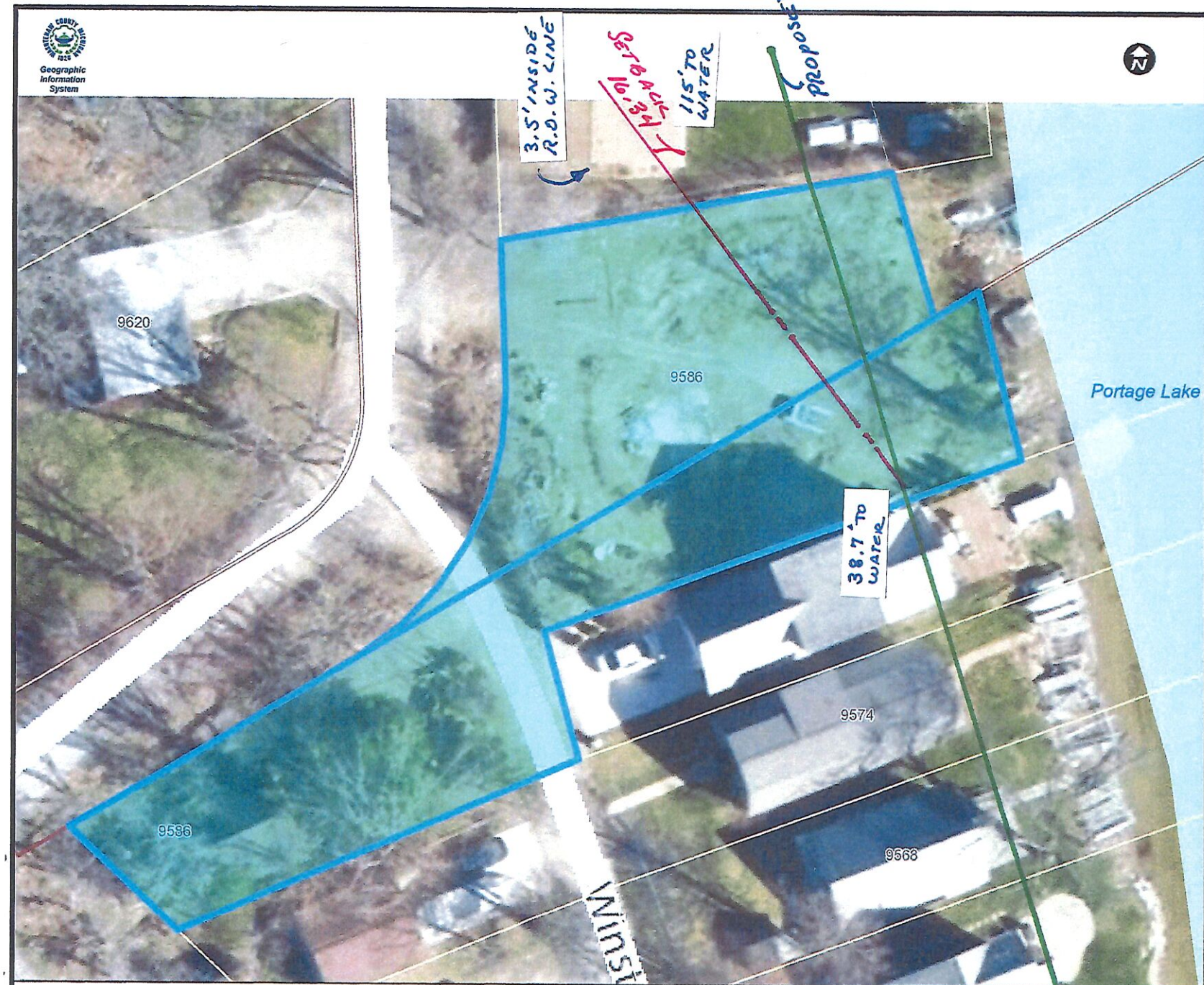


Figure not to scale.

ATTACH #1



Legend

- TaxParcel
- Lot and Units
- Quarter Sections
- Sections
- University and College
- K12 Schools
- Police Stations
- Fire Stations
- County Buildings
- Local Unit Offices
- Railroad
- Extra Close OneWay
  - To-From
  - From-To
- Road Centerlines_1K
  - <all other values>
  - Collector
  - Freeway
  - Highway
  - Local
  - Major Arterial
  - Minor Arterial
  - Ramp
- O2020_boundary

#1 ATTACH

THIS MAP REPRESENTS PARCELS ATTHE TIME OF PRINTING. THE OFFICIAL PARCEL TAX MAPS ARE MAINTAINED SOLELY BY THE WASHTENAW COUNTY EQUALIZATION DEPARTMENT AND CAN BE OBTAINED BY CONTACTING THAT OFFICE AT 734-222-6662.

The information contained in this cadastral map is used to locate, identify and inventory parcels of land in Washtenaw County for appraisal and taxing purposes only and is not to be construed as a "survey description". The information is provided with the understanding that the conclusions drawn from such information are solely the responsibility of the user. Any assumption of legal status of this data is hereby disclaimed.

NOTE: Parcels may not be to scale.

7/4/2022

0 30.00 60.0 Feet

1: 360

© 2013 Washtenaw County

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Receipt# 23-10228 6688264
05/23/2023 Washtenaw Co, Michigan
Real Estate Transfer Tax
Tax Stamp # 474197
County Tax: $385.00 State Tax: $2,625.00

6688264 L: 5521 P: 386 D
Total Pages: 3 05/23/2023 10:33 AM
Lawrence Kestenbaum
Washtenaw County, Michigan

WARRANTY DEED

LIBERTY TITLE
PROTECTING PROPERTY RIGHTS SINCE 1974

File No. LIB184178

The Grantor(s): Donald Bieske, as to an undivided 1/3 interest; Donald G. Bieske and Nancy Bieske, husband and wife, as to an undivided 2/3 interest.

whose address is: 350 Highland Rd., Chelsea, MI 48118

Convey and Warrant to: Andrew G. Horning Jr. and Nicole M. Horning, husband and wife

whose address is: 2451 Maute Rd., Grass Lake, MI 49240

the following described premises situated in the Township of Dexter, County of Washtenaw, State of Michigan, to wit:

SEE ATTACHED EXHIBIT A/LEGAL DESCRIPTION RIDER

for the full consideration of: $350,000.00 (Three Hundred Fifty Thousand Dollars and No Cents)

Subject to: Building and use restrictions, zoning ordinances and easements if any. Liens for any tax and/or assessment which become due and payable on or after the effective date hereof.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act.

The grantor grants to the grantee the right to make all divisions under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

Dated 5 / 19 / 2023

Washtenaw County Treasurer
Tax Certificate NO: 148990 CK

(File Number: LIB184178)

ATTACH. #2

WARRANTY DEED

(Continued)

(Attached to and becoming part of the Warranty Deed between Donald G. Bieske and Nancy Bieske, husband and wife, as Grantor(s) and Andrew G. Horning Jr. and Nicole M. Horning, husband and wife, as Grantee(s))

Signed By:

Donald G. Bieske

Donald Bieske AKA Donald G Bieske

Nancy Bieske

Nancy Bieske

STATE OF Michigan
COUNTY OF Washtenaw

The foregoing instrument was acknowledged before me this 19 day of May, 2023 by Donald Bieske, as to an undivided 1/3 interest; Donald G. Bieske and Nancy Bieske, husband and wife, as to an undivided 2/3 interest.

LAVONNE I. CAREY
Notary Public, State of Michigan
County of Lenawee
My Commission Expires 10-09-2028
Acting in the County of Washtenaw

LaVonne I. Carey
Lenawee
Notary Public
County
My Commission Expires: 10/9/2028
Acting in the County of: Washtenaw

Drafted by: Thomas D. Richardson, Esq.
111 N. Main St.
Ann Arbor, MI 48104

When recorded return to: Andrew G. Horning Jr. and Nicole M. Horning
~~9586 Winston Rd.~~
~~Pinckney, MI 48169~~
2451 Maple RD
Grass Lake MI 49.

Tax Code: D -04-02-403-002 (Parcels 2 and 3), D -04-02-401-019 (Parcel 1)

ATTACH #2

WARRANTY DEED

(Continued)

(Attached to and becoming part of the Warranty Deed between Donald G. Bieske and Nancy Bieske, husband and wife, as Grantor(s) and Andrew G. Horning Jr. and Nicole M. Horning, husband and wife, as Grantee(s))

EXHIBIT A/LEGAL DESCRIPTION RIDER

Land is located in the Township of Dexter, County of Washtenaw, State of Michigan, and described as follows:

PARCEL 1:

Lot(s) 1, Elm Grove, a Subdivision, according to the recorded Plat thereof, as recorded in Liber 4 of Plat(s), Page 28, Washtenaw County Records.

PARCEL 2:

Part of the Northeast one quarter of the Southeast one quarter of Section Two, Town one South, Range four East, Meridian of Michigan and described as follows: Commencing at the Southeast corner of Lot One of Elm Grove Subdivision and running thence South sixty-one degrees and forty-one minutes West, one hundred and seventeen and twenty-nine one-hundredths feet; thence South fourteen degrees and twelve minutes East, nineteen and sixty-one one-hundredths feet; thence North seventy degrees and forty-three minutes East, one hundred and fifteen feet; thence North fourteen degrees and twelve minutes West; thirty-seven and seven one-hundredths feet to the place of beginning, reserving therefrom the Westerly eight feet and granting a strip of land eight feet wide adjoining the above described parcel on the Westerly end for a right of way sixteen feet wide.

PARCEL 3:

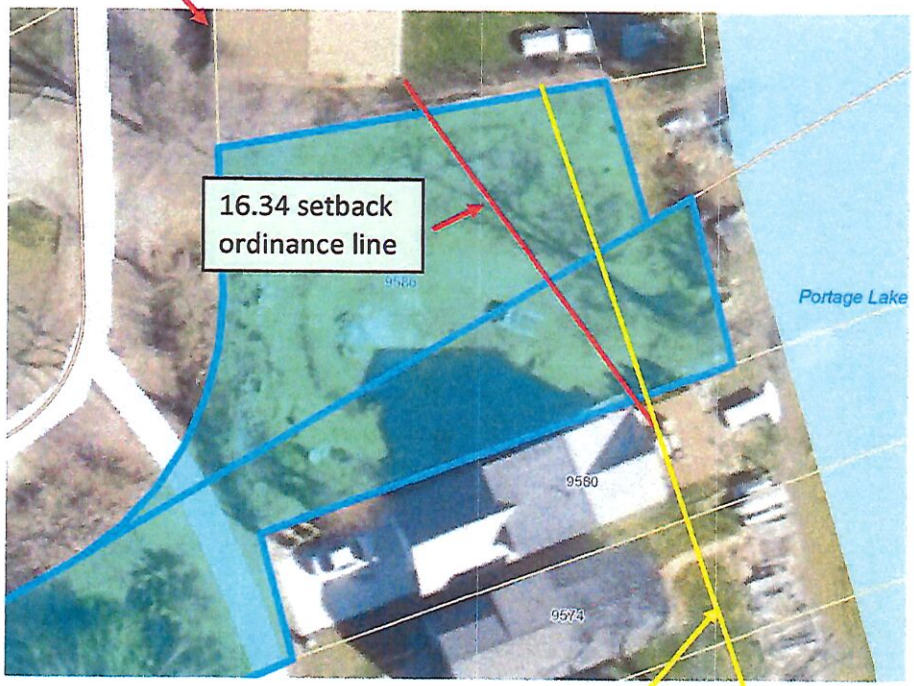
Commencing at an iron stake where the Elm Grove Subdivision intersects with the Dexter and Pinckney Highway, thence Southerly along said Highway, thirty-nine (39) feet, thence Easterly ninety-eight (98) feet, thence Northerly forty-seven feet to the Elm Grove Subdivision, thence Westerly along Elm Grove Subdivision one hundred twenty-nine (129) feet more or less to the place of beginning. A strip of land eight (8) feet wide and forty-seven (47) feet long off the Easterly end of this land is to be used for the right of way only.

The above described property is commonly known as 9586 Winston Rd., Pinckney, MI 48169

ATTACH #2

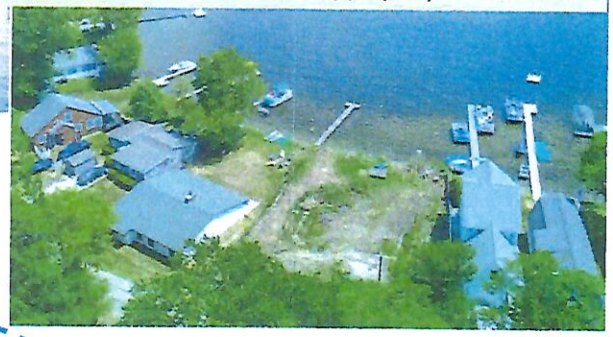
Parcel D -04-02-403-002 Home Site

House is Built inside R.O.W
Line not 25' back



Typical condition and/or line
with proper R.O.W. Setbacks
on neighbors house

9586 Winston Lot and neighboring property set back views



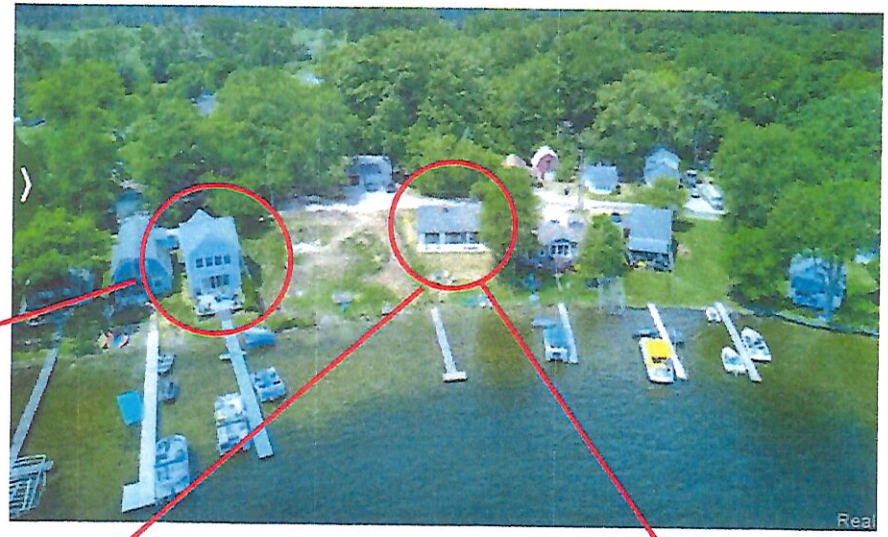
9620 Winston Rd. Street view inside R.O.W views

ATTACH #3

Consideration for Lake View Impact by Neighbors

We anticipate little to no impact to either next door neighbors view

Stakes showing proposed Set back of 40' are on-site



No Impact, This house is forward of proposed 40' setback

Patio View to South / South East

Patio View to North / North East

ATTACH #3

TOPOGRAPHIC AND BOUNDARY SURVEY

LEGEND

FCIP	FOUND CAPPED IRON PIPE
FCIR	FOUND CAPPED IRON ROD
FIP	FOUND IRON PIPE
F	FOUND MAG NAIL
F	FOUND MONUMENT
S	SET IRON ROD
	EXISTING FENCE POST
W	EXISTING WATER WELL
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
U.P.	EXISTING UTILITY POLE
× 860.00	EXISTING GROUND ELEVATION
	UNDERGROUND GAS MARKER
(R)	RECORD
(M)	MEASURED
	BOUNDARY LINE
	BOUNDARY ADJACENT LINE
OHE	OVERHEAD UTILITY LINE
860	EXISTING GROUND CONTOUR
	EXISTING BUILDING
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY

DESCRIPTION OF TAX PARCELS D-04-02-401-019 & D-04-02-403-002 (PER QUIT CLAIM DEED RECORDED IN LIBER 2139, PAGE 928, WASHTENAW COUNTY RECORDS):

ALL THOSE CERTAIN PIECES OR PARCELS OF LAND SITUATED IN THE TOWNSHIP OF DEXTER, COUNTY OF WASHTENAW AND STATE OF MICHIGAN, DESCRIBED AS FOLLOWS, TO-WIT:

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, COUNTY OF WASHTENAW, STATE OF MICHIGAN, AND DESCRIBED AS: PART OF THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION TWO, TOWN ONE SOUTH, RANGE FOUR EAST, MERIDIAN OF MICHIGAN AND DESCRIBED AS FOLLOWS: COMMENCING SOUTHEAST CORNER OF LOT ONE OF ELM GROVE SUBDIVISION OF A PART OF ABOVE DESCRIBED FORTY ACRES AND RUNNING THENCE SOUTH SIXTY-ONE DEGREES AND FORTY-ONE MINUTES WEST, ONE HUNDRED AND SEVENTEEN AND TWENTY-NINE ONE-HUNDREDTHS FEET; THENCE SOUTH FOURTEEN DEGREES AND TWELVE MINUTES EAST, NINETEEN AND SIXTY-ONE ONE-HUNDREDTHS FEET; THENCE NORTH SEVENTY DEGREES AND FORTY-THREE MINUTES EAST ONE HUNDRED AND FIFTEEN FEET; THENCE NORTH FOURTEEN DEGREES AND TWELVE MINUTES WEST; THIRTY-SEVEN AND SEVEN ONE-HUNDREDTHS FEET TO THE PLACE OF BEGINNING, RESERVING THEREFROM THE WESTERLY EIGHT FEET AND GRANTING A STRIP OF LAND EIGHT FEET WIDE ADJOINING THE ABOVE DESCRIBED PARCEL ON THE WESTERLY END FOR A RIGHT OF WAY SIXTEEN FEET WIDE. NO OBSTRUCTION WHATEVER TO BE BUILT IN THE LAKE AND NO OUTHOUSE OR TOILET TO BE BUILT ON PROPERTY UNLESS SANITARY.

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOT NUMBERED ONE (1), OF ELM GROVE, A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST QUARTER OF SECTION TWO (2), TOWNSHIP ONE (1) SOUTH, RANGE FOUR (4) EAST, DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN. THE ABOVE PREMISES ARE FOR RESIDENTIAL PURPOSES ONLY.

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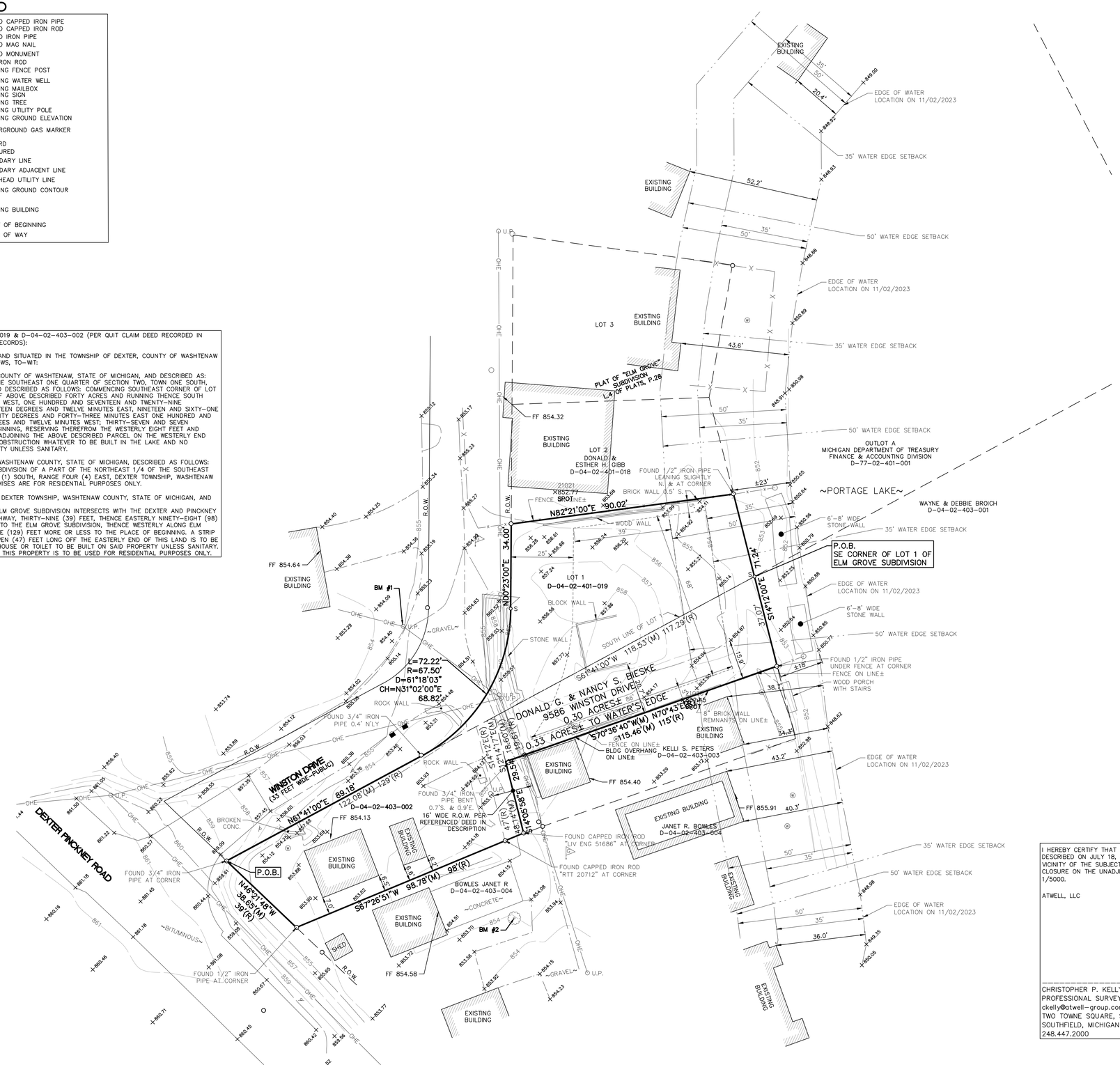
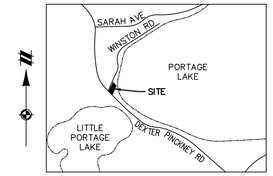
COMMENCING AT AN IRON STAKE WHERE THE ELM GROVE SUBDIVISION INTERSECTS WITH THE DEXTER AND PINCKNEY HIGHWAY, THENCE SOUTHERLY ALONG SAID HIGHWAY, THIRTY-NINE (39) FEET, THENCE EASTERLY NINETY-EIGHT (98) FEET, THENCE NORTHERLY FORTY-SEVEN FEET TO THE ELM GROVE SUBDIVISION, THENCE WESTERLY ALONG ELM GROVE SUBDIVISION ONE HUNDRED TWENTY-NINE (129) FEET MORE OR LESS TO THE PLACE OF BEGINNING. A STRIP OF LAND EIGHT (8) FEET WIDE AND FORTY-SEVEN (47) FEET LONG OFF THE EASTERLY END OF THIS LAND IS TO BE USED FOR THE RIGHT OF WAY ONLY. NO OUT HOUSE OR TOILET TO BE BUILT ON SAID PROPERTY UNLESS SANITARY. RIGHT TO USE WALK DEEDED AS PUBLIC WALK. THIS PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY.





VICINITY MAP
NOT TO SCALE

BENCHMARKS:
VERTICAL DATUM IS BASED ON NAVD88.

BM #1: MAG NAIL IN UTILITY POLE
ELEVATION: 855.51 (NAVD88)

BM #2: BENCH TIE IN TWIN 12" WALNUT
ELEVATION: 855.27 (NAVD88)

BASIS OF BEARING:

BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 1 OF ELM GROVE SUBDIVISION, BEING N61°41'E.

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND HEREON PLATTED AND/OR DESCRIBED ON JULY 18, 2016 ALSO ACQUIRED ADDITIONAL FIELD MEASUREMENTS FOR BUILDINGS ON THE VICINITY OF THE SUBJECT PARCEL AND RE-MEASURED LAKES' WATER EDGE, AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WERE NOT GREATER THAN 1/5000.

ATWELL, LLC

CHRISTOPHER P. KELLY
PROFESSIONAL SURVEYOR NO. 56500
ckelly@atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
248.447.2000

DATE

811
Know what's **below.**
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 2
TOWNSHIP 1 SOUTH, RANGE 4 EAST
DEXTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DONALD BIESKE
BOUNDARY & TOPOGRAPHIC SURVEY
LOCATED IN

DATE
08/19/2016

09-23-2016
CLIENT COMMENTS
10-20-2016
ADJOINER RE-SURVEY
08-15-2017
NEW TOPO
11-02-2023
ADDITIONAL BUILDINGS AND WATER EDGE

REVISIONS

SCALE 0 10 20
1" = 20 FEET

DR. JER	CH. CPK
P.M. J. CECIL	
BOOK NA	
JOB 16001421	
SHEET NO. 1 OF 1	

CAD FILE: 16001421WS-13 TP-01 WATER EDGE+ADDTL BLDGS 11-06-2023.DWG

Zoning Officer

From: kelli Peters <tookelli@gmail.com>
Sent: Saturday, November 11, 2023 3:16 PM
To: Zoning Officer
Subject: 9586 Winston ZBA meeting Letter of Request adjacent neighbor
Attachments: 2017 Letter to Zoning Board of Appeals.pdf; Winton Rd elevations 2.jpg

Hi Brittany,

Official notice has not occurred, however, I was asked by Andrew Horning to give feedback and support for the proposed the variances. I've included a prior petition related to a past variance requests associated with the property to the Board of Appeals and may have some relevant precedence. While I support the shift in the water setback and the road setback, I would request that some of the former Board of Appeals restrictions associated with the property be honored to alleviate issues that the former owner created while purposefully and artificially elevating the property, often resulting in localized flooding.

1. The Winston Road easement be restored to the recorded sixteen (16) feet as it is bounded by the 9586 lot to permit the intended ease of passage for users and to minimize the likelihood of adversity or prescription.
2. The 9586 lot (as defined by the Zoning Ordinance) be restored to its original intended elevation as defined by the adjoining lots so storm water does not unreasonably migrate from the 9586 parcel to the adjoining neighbors.

Thank you for your consideration to attach the above stipulations to the variance and approve the setbacks so the Selberts can build their home and garage.
Kelli Peters
9580 Winston Dr
Adjacent property to the south

Entire property is above the grade of all adjoining lots

Elevation creates an unusual property line

Soil erosion and unstable rocks debris interfere with safe passage

Winston Road elevations.jpg

Winston road elevation 3.jpg

Decision Criteria Review:

The Zoning Board of Appeals shall have the power to authorize specific variances from the standards of the Zoning Ordinance provided that the spirit of that Ordinance is observed, the public safety secured, and substantial justice done. All the required findings listed below shall be met and the record of proceedings of the Zoning Board of Appeals shall contain evidence supporting each conclusion.

A) Allow 40' waterbody setback instead of when there are principal buildings on both adjacent lots, the waterbody setback shall be a straight line drawn between the adjacent principal buildings.

(1) Practical Difficulty *29.06(C)(1)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
The strict application of the terms of this Ordinance would constitute a practical difficulty.	

(2) Physical Conditions *29.06(C)(2)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
The practical difficulty is due to some physical condition peculiar to the property involved.	

3) Self-Created *29.06(C)(3)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
The practical difficulty is not self-created.	

(4) Reasonable Amount Necessary *29.06(C)(4)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
The variance is a reasonable amount necessary to mitigate the practical difficulty.	

(5) Public Health, Safety, and Welfare *29.06(C)(5)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
Approval of the variance will not be injurious to the public health, safety, and welfare.	
(6) Adjacent Properties *29.06(C)(6)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
Approval of the variance will not affect the use of the adjacent properties or the area in a substantially adverse manner.	
(7) Intent of the Ordinance *29.06(C)(7)* **Does the requested variance meet the following standard:**	**A** 16.34(A) Footnotes – Straight Line Between Adjacent Buildings Waterbody Setback Exceptions
Approval of the variance is consistent with the intent and purpose of this Ordinance.	

Petition Information:

Petition Number:	(23-ZBA-008)
Applicant(s):	Alan and Linda Selbert
Project Description:	Construct a 24' x 40' garage to provide storage for boat, Kubota, and lawn equipment. The upper level will provide space for a workshop and additional storage.
Petition Description:	*a) Request for variance from Section 7.07 requiring 25-foot local and private road setback*
Property Location:	9586 Winston Rd. (D-04-02-401-002)

Property Information:

Existing Zoning:	Lakes Residential (LR) *The Lake Residential District provides opportunities for relatively high-density residential uses in a manner that is consistent with the unique physical, economic, and social characteristics of lakefront properties. The regulations applicable to properties in this district are intended to provide opportunities for the recreational uses that are consistent with the character of these lake areas, while protecting the Township's waters and other natural resources by fostering a healthy environment that enhances the use and enjoyment of these areas. Infill development that is consistent with the character of established neighborhoods should be supported.*
Existing Land Use:	Single-family Residential
Future Land Use Map:	Lakes Residential
Area:	14,374.8 square feet, .33 acres

Zoning Information:

	North	East	South	West
Surrounding Zoning	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)/General Commercial District (C)*
Surrounding Land Uses	*Single-family Residential*	*Single-family Residential*	*Single-family Residential*	*Single-family Residential/Commercial*
Future Land-Use Map	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)*	*Lakes Residential (LR)/Commercial (C)*

Project Narrative:
The subject property currently has two small structures on site. They are both old and in poor condition with mold, mildew, and deterioration. The applicant is proposing to remove the small structures and build a new garage that is 24ft. x 40ft.

Section 7.07(3) states that there is to be a 25-foot local and private road setback. The applicant is requesting a variance from the required setback from Winston Rd. on the NW side of the parcel because the lot is fronted by three roadways.

Applicable Land Use Standards:

The following table lists the requested variance for the proposed project and the Zoning Ordinance standard.

Ordinance Section	Required	Requested	Notes
7.07(3)	*25' setback*	*8.66' and 12.75'*	*N/A*

Recognition of Nonconformities:
- Existing non-conforming lot. Minimum lot size in Lakes Residential zoning district is 0.5 acres if served by off-site septic or sewer. Subject lot is 0.33 acres.

Other Department Comments:
N/A

Potential Conditions:
Potential conditions are developed prior to a public hearing and are intended to aid the Zoning Board of Appeals review. The Zoning Board of Appeals may adopt the above condition(s), adopt additional or other condition(s), or adopt no conditions if a variance is approved.

Attached Materials:

- Variance Application
- Plot Plan/Elevations/Images
- Survey/ Legal Description
- Decision Criteria Review

DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767
FAX: 734-426-3833
WWW.DEXTERTOWNSHIP.ORG

File #:	-ZBA-
Received on:	
Fee: $	
Receipt #:	

VARIANCE APPLICATION FORM

(1) Applicant Information: *(the person(s) applying for the variance(s))*

a. ☐ Owner ☒ Agent for the Owner *(check one)*

b. Name(s)
ALAN & LINDA SELBERT

c. Mailing Address
8680 DEXTER PINCKNEY RD.
PINCKNEY, MICHIGAN 48169

d. Phone Number
734-585-4200

e. Email
ALSINMAVI@GMAIL.COM

(2) Owner Information: *(the person(s) owning the property)*

a. ☐ Same as Applicant *(check if appropriate)*

b. Name(s) *(if different from applicant)*
ANDREW & NICOLE HORNING

c. Mailing Address *(if different from applicant's mailing address)*
2451 MAUTE RD.
GRASS LAKE, MICHIGAN 49240

d. Phone Number *(if different from applicant's phone number)*
517-416-4377

e. Email *(if different from applicant's email)*
ANDREWHORNINGJR@CMSENERGY.COM

(3) Property Information: *(property where the variance is being requested)*

a. Physical Address *(city and zip code not required)*
9586 WINSTON RD.

b. Parcel/Tax ID Number(s)
D-04-02-401-019

c. Zoning District *(circle one)*
PL AG RC RR (LR) CU MHPR C-1

d. Size and nature of existing structures on and uses of the property:
CURRENTLY TWO BUILDINGS ON SITE. ONE IS CINDER BLOCK @ 495 sq ft. THE OTHER IS WOOD @ 170 sq ft. BOTH ARE OLD, IN VERY POOR CONDITION WITH MOLD, MILDEW & DETERIORATION. IT IS OUR INTENT TO REMOVE BOTH STRUCTURES (SEE PHOTOS)

(4) Application Checklist: *Check all of the information that is included as part of this application. Items a-e are required for all variance applications.*

Item and Description	YES	NO	Attachment Number
a. ***Application.*** A completed variance application signed by the applicant and the property owner(s).	☒	☐	n/a
b. ***Application Fee.*** Cash or check to Dexter Township, as outlined in the current fee schedule.	☒	☐	n/a
c. ***Site Plan or Plot Plan.*** A complete plot or site plan, as outlined in §26.03 or §27.09 of the Zoning Ordinance. One (1) copy is required if the Township is able to make reproductions *(legible letter, legal or 11x17 sheets)*. Eight (8) copies are required if the Township is not able to make reproductions *(larger sheets, color prints, etc)*. Please contact staff if you have any questions before submitting this application.	☒	☐	#1
d. ***Legal Description.*** A legal description of the property for which the variance is being requested.	☒	☐	#2
e. ***Survey.*** A mortgage or boundary survey of the property for which the variance is being requested.	☒	☐	#1
f. ***Building Plans.*** Plans illustrating the floor plans, elevations, and sections of buildings or details of the structure. *Required for all variance applications involving a structure.*	☐	☒	N/A
g. ***Sewer District Approval.*** Approval of the Multi-Lakes Water and Sewer Authority or the Portage Lakes Area Water and Sewer Authority. *Required for all properties located within a sewer district.*	☒	☐	INCL.
✓ h. ***Decision Criteria Answers.*** Answers to the decision criteria, if not fully completed in Section 7 of this application.	☐	☐	INCL.
i. ***Letters of Support.*** Letters of support or non-objection from neighboring property owners or signatures on a petition.	☐	☐	
✓ j. ***Pictures.*** Pictures of the property and the area affected by the variance request.	☒	☐	#4
k. ***Other.*** Describe:	☐	☐	

(5) Project Description: *Describe the project in general- what is being built, how big is it, etc.*

BUILD A GARAGE TO PROVIDE STORAGE FOR PONTOON BOAT, KUBOTA & LAWN EQUIPMENT. THE UPPER LEVEL WILL PROVIDE SPACE FOR A WORKSHOP & ADDITIONAL STORAGE.

VARIANCE APPLICATION FORM

File #: -ZBA-

(6) Variance(s) Description: *Describe the variance(s) being requested. Attach additional sheets if necessary.*

	a. Ordinance Section	b. Requested	c. Required	d. Description of Variance Request
a)	7.07	9' & 13'	25'	ALLOW for REDUCED SET BACK from RD on WINSTON RD (PUBLIC) CAN meet 25' from DEXTER-PINCKNEY AND WINSTON (PRIVATE).
b)				
c)				
d)				
e)				
f)				
g)				

(7) Decision Criteria Answers: *Please describe how you think your variance(s) meets all of the following standards. Attach additional sheets if necessary. You will have an opportunity to provide additional information and address these decision criteria at the public hearing.*

a. The strict application of the terms of this Ordinance would constitute a practical difficulty. *§29.06(C)(1)*

YES, SMALL LOT BORDERED BY THREE ROADS. IN ADDITION THERE IS A LARGE DITCH/DROP OFF ON THE DEXTER PINCKNEY ROAD SIDE AND THE WINSTON DR. (PUBLIC) ROAD SIDE AS IT TRANSITIONS TO THE LOWER LEVEL ROAD.

b. The practical difficulty is due to some physical condition peculiar to the property involved. *§29.06(C)(2)*

YES, BEING BORDERED BY THREE ROADS MAKES MEETING THE 25' SET BACK ON ALL THREE IMPOSSIBLE TO BUILD A GARAGE. WE CAN AND WILL MEET THE CODE ON TWO of THE THREE

c. The practical difficulty is not self-created. *§29.06(C)(3)*

IT IS NOT

d. The variance is a reasonable amount necessary to mitigate the practical difficulty. *§29.06(C)(4)*

YES

e. Approval of the variance will not be injurious to the public health, safety, and welfare. *§29.06(C)(5)*

NO

f. Approval of the variance will not affect the use or value of the adjacent properties or the area in a substantially adverse manner. *§29.06(C)(6)*

NO, THERE ARE MANY LOTS ON THIS SIDE of THE ROAD WITH ONLY GARAGES, INCLUDING IMMEDIATE NEIGHBORS. WE BELIEVE IT WILL HELP INCREASE THE VALUE of NEIGHBORING PROPERTIES WITH NEW STRUCTURE VS. CURRENT DETERIORATING STRUCTURES

g. Approval of the variance is consistent with the intent and purpose of this Ordinance. *§29.06(C)(7)*

YES, I THINK THE FACT THAT THE PROPERTY IS BORDERED BY THREE ROADS IS UNUSUAL & EXTREME.

h. ☐ I prefer not to share these decision criteria answers with the Zoning Board of Appeals members.

VARIANCE APPLICATION FORM

File #: -ZBA-

(8) Applicant(s) Affidavit: *(to be signed and dated by the applicant)*

- *I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.*
- *I acknowledge that approval of a variance only grants that which was presented to the Zoning Board of Appeals.*
- *I acknowledge that I have received and reviewed the Dexter Township "Variance Guide" booklet.*
- *I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.*
- *I understand that I must post the public notice sign and mark the location of proposed structure and lot corners and lot lines of my lot that are within 100 feet of the proposed structure at least 15 days before the public hearing date.*
- *I understand that the house or property must be marked with the street address clearly visible from the roadway.*
- *I understand that a Zoning Permit is required prior to construction if a variance is granted.*

Applicant's Signature — Date: 11-7-2023

Linda Selbert — Applicant's Signature — Date: 11/7/2023

(9) Property Owner(s) Affidavit: *(to be signed and dated by the property owner(s) if the applicant is not the property owner; it should be signed by all owners, if any)*

I, Andrew Horning, hereby state that I am the owner of the property described in this application and that I have authorized Alan Selbert to act as my agent for the purpose of obtaining the variance(s) described in this application.

Property Owner's Signature — Date: 11/8/2023

Nicole Horning — Property Owner's Signature — Date: 11/8/23

(10) Administrative Section:

Request Approved (List conditions, if any)	Request Denied (List reasons)	Request Amended
		New file:
		Date Submitted:

TOPOGRAPHIC AND BOUNDARY SURVEY

LEGEND

FCIP	FOUND CAPPED IRON PIPE
FCIR	FOUND CAPPED IRON ROD
FIP	FOUND IRON PIPE
	FOUND MAG NAIL
	FOUND MONUMENT
	SET IRON ROD
	EXISTING FENCE POST
	EXISTING WATER WELL
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
U.P.	EXISTING UTILITY POLE
	EXISTING GROUND ELEVATION
	UNDERGROUND GAS MARKER
(R)	RECORD
(M)	MEASURED
	BOUNDARY LINE
	BOUNDARY ADJACENT LINE
OHE	OVERHEAD UTILITY LINE
850	EXISTING GROUND CONTOUR
	EXISTING BUILDING
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY

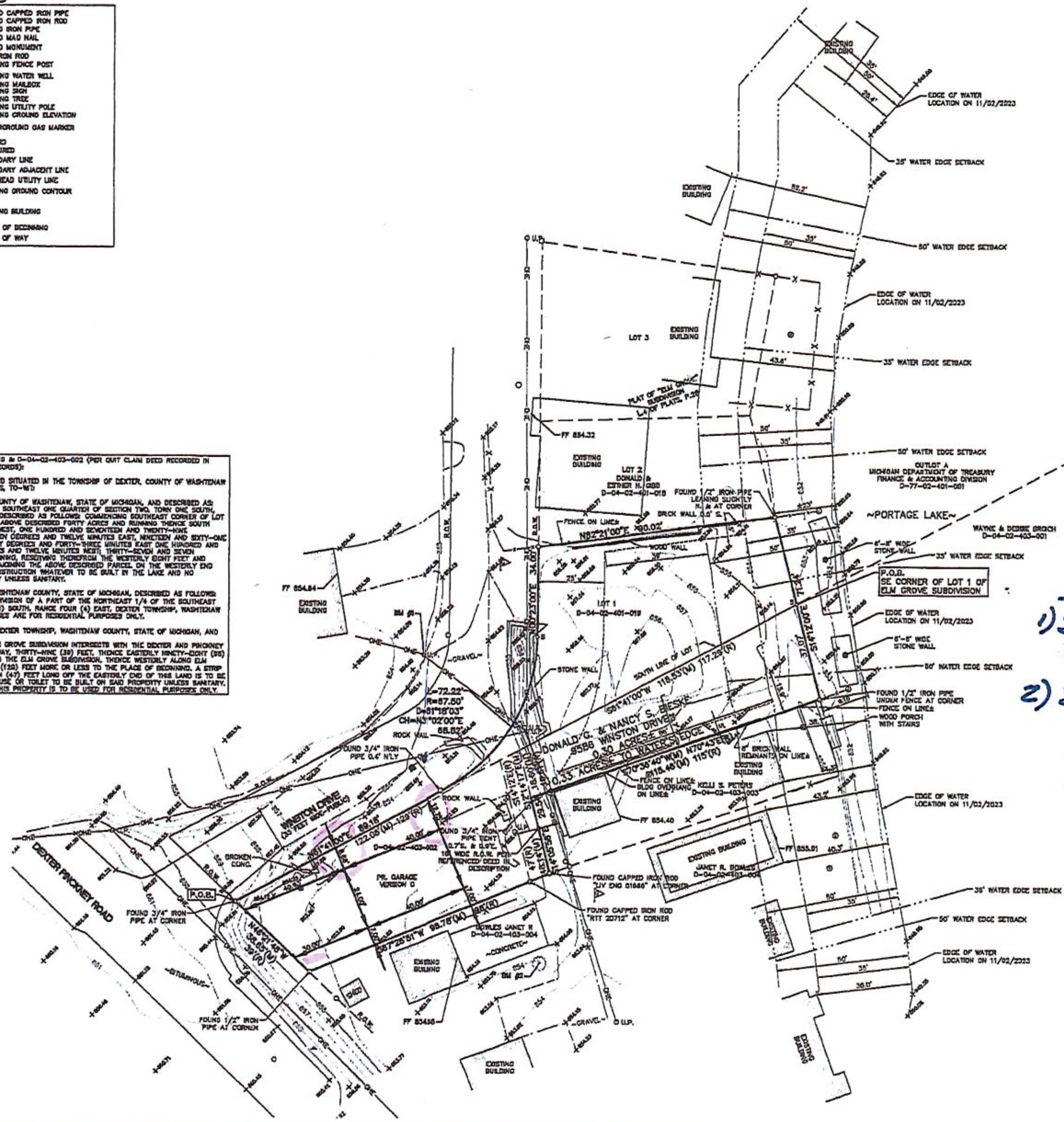
DESCRIPTION OF TAX PARCELS D-04-02-401-019 & D-04-02-403-002 (PER QUIT CLAIM DEED RECORDED IN LIBER 2139, PAGE 926, WASHTENAW COUNTY RECORDS):

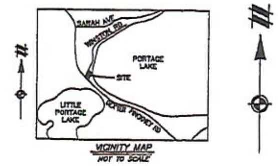
ALL THOSE CERTAIN PIECES OR PARCELS OF LAND SITUATED IN THE TOWNSHIP OF DEXTER, COUNTY OF WASHTENAW AND STATE OF MICHIGAN, DESCRIBED AS FOLLOWS, TO-WIT:

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, COUNTY OF WASHTENAW, STATE OF MICHIGAN, AND DESCRIBED AS: PART OF THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION TWO, TOWN ONE SOUTH, RANGE FOUR EAST, MERIDIAN OF MICHIGAN AND DESCRIBED AS FOLLOWS: COMMENCING SOUTHEAST CORNER OF LOT ONE OF ELM GROVE SUBDIVISION OF A PART OF ABOVE DESCRIBED FORTY ACRES AND RUNNING THENCE SOUTH SIXTY-ONE DEGREES AND FORTY-ONE MINUTES WEST, ONE HUNDRED AND SEVENTEEN AND TWENTY-NINE ONE-HUNDREDTHS FEET; THENCE SOUTH FOURTEEN DEGREES AND TWELVE MINUTES EAST, NINETEEN AND SIXTY-ONE ONE-HUNDREDTHS FEET; THENCE NORTH SEVENTY DEGREES AND FORTY-THREE MINUTES EAST ONE HUNDRED AND FIFTEEN FEET; THENCE NORTH FOURTEEN DEGREES AND TWELVE MINUTES WEST, THIRTY-SEVEN AND SEVEN ONE-HUNDREDTHS FEET TO THE PLACE OF BEGINNING, RESERVING THEREFROM THE WESTERLY EIGHT FEET AND GRANTING A STRIP OF LAND EIGHT FEET WIDE ADJOINING THE ABOVE DESCRIBED PARCEL ON THE WESTERLY END FOR A RIGHT OF WAY SIXTEEN FEET WIDE. NO OBSTRUCTION WHATEVER TO BE BUILT IN THE LAKE AND NO OUTHOUSE OR TOILET TO BE BUILT ON PROPERTY UNLESS SANITARY.

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOT NUMBERED ONE (1), OF ELM GROVE, A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST QUARTER OF SECTION TWO (2), TOWNSHIP ONE (1) SOUTH, RANGE FOUR (4) EAST, DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN. THE ABOVE PREMISES ARE FOR RESIDENTIAL PURPOSES ONLY.

REAL ESTATE LOCATED IN SECTION TWO (2) IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
COMMENCING AT AN IRON STAKE WHERE THE ELM GROVE SUBDIVISION INTERSECTS WITH THE DEXTER AND PINCKNEY HIGHWAY, THENCE SOUTHERLY ALONG SAID HIGHWAY, THIRTY-NINE (39) FEET, THENCE EASTERLY NINETY-EIGHT (98) FEET, THENCE NORTHERLY FORTY-SEVEN FEET TO THE ELM GROVE SUBDIVISION, THENCE WESTERLY ALONG ELM GROVE SUBDIVISION ONE HUNDRED TWENTY-NINE (129) FEET MORE OR LESS TO THE PLACE OF BEGINNING. A STRIP OF LAND EIGHT (8) FEET WIDE AND FORTY-SEVEN (47) FEET LONG OFF THE EASTERLY END OF THIS LAND IS TO BE USED FOR THE RIGHT OF WAY ONLY. NO OUT HOUSE OR TOILET TO BE BUILT ON SAID PROPERTY UNLESS SANITARY. RIGHT TO USE WALK DEEDED AS PUBLIC WALK. THIS PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY.





BENCHMARKS:
VERTICAL DATUM IS BASED ON NAVD88.

BM #1: MAG NAIL IN UTILITY POLE
ELEVATION: 855.51 (NAVD88)

BM #2: BENCH TIE IN TWIN 12" WALNUT
ELEVATION: 855.27 (NAVD88)

BASIS OF BEARING:

BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 1 OF ELM GROVE SUBDIVISION, BEING N61°41'E.

NOTES:
1) SEE "TO SCALE" DWG for DETAIL & DIMENSION
2) SET BACK from ROADS:
• DEXTER-PINCKNEY = 30' min
• WINSTON RD: 25' min
• WINSTON DR. VARIANCE Req of
• 12.75' & 8.66'

Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 2
TOWNSHIP 1 SOUTH, RANGE 4 EAST
DEXTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: DONALD BIESKE
PROPOSED GARAGE OPTION C
LOCATED IN

DATE: 11/06/2023

REVISIONS

SCALE 0 10 20
1" = 20 FEET

DR.	JER	CH.	CPK
P.M.	J. CECIL		
BOOK	NA		
JOB	16001421		
SHEET NO.	1 OF 1		

CAD FILE: 16001421IES-13 TP-03 PROPOSED GARAGE OPTIONS 11-06-2023.DWG

ATTACH #1

SECTION 7.05

Special Land Uses

The following special land uses are permitted by special approval in the District:

- Day care or foster care facility, group home
- Commercial watercraft access ramp
- Common use access lot
- Marina or yacht club
- Outdoor athletic facility or similar recreation facility of an open-space and low-intensity nature
- Public park or playground
- Watercraft sales, repair, or storage
- Religious institution, including housing for affiliated personnel
- School
- Bed and breakfast

SECTION 7.06

Accessory Special Land Uses

- Private stable
- WECS, small
- Wireless communication facility, major colocation

SECTION 7.07

Footnotes

1) 50-foot Road Setback: The required front yard setback is 50 feet for any yard abutting the following gravel (exceptions noted) roads, measured from the right-of-way or access easement:
   - Bell Road
   - Brand Road
   - Colby Road
   - Donner Road
   - Fleming Road
   - Huron River Drive (gravel portions only)
   - Island Lake Road (gravel portions only)
   - Lima Center Road
   - Madden Road
   - McGregor Road (paved road)
   - McKinley Road
   - Quigley Road
   - Riker Road
   - Stinchfield Woods Road
   - Toma Road
   - Waterloo Road
   - Wylie Road

2) 80-foot Road Setback: The required front yard setback is 80 feet for any yard abutting the following paved roads, measured from the right-of-way or access easement:
   - Dexter-Pinckney Road
   - Dexter-Townhall Road
   - North Territorial Road
   - Hankerd Road
   - Huron River Drive (paved portions only)
   - Island Lake Road (paved portions only)
   - Stofer Road

3) 25-foot Local and Private Road Setback. Exceptions, listed below, shall be set back 20 feet:
   - Silver Lake north residential area
   - Argonne Drive
   - Barrington Drive
   - Edgewater Drive
   - Fairway Drive
   - Hillsdale Drive
   - Noah Road
   - Noah Court
   - Parkview Drive
   - Plainview Drive
   - Rainbow Drive
   - South Rainbow Drive
   - Revere Drive
   - Ridgemont Lane

4) ***Accessory Dwelling Standards.*** Accessory dwellings, including but not limited to above-garage apartments, "In-law" suites, or similar, must be on the same parcel as a permitted principal residential structure, not be separated from the principal structure by a right-of-way or access easement, be on a parcel of at least one half (1/2) acre in size, shall not require a new sewer tap or septic field, and must provide one (1) parking space on site per bedroom of the accessory dwelling.

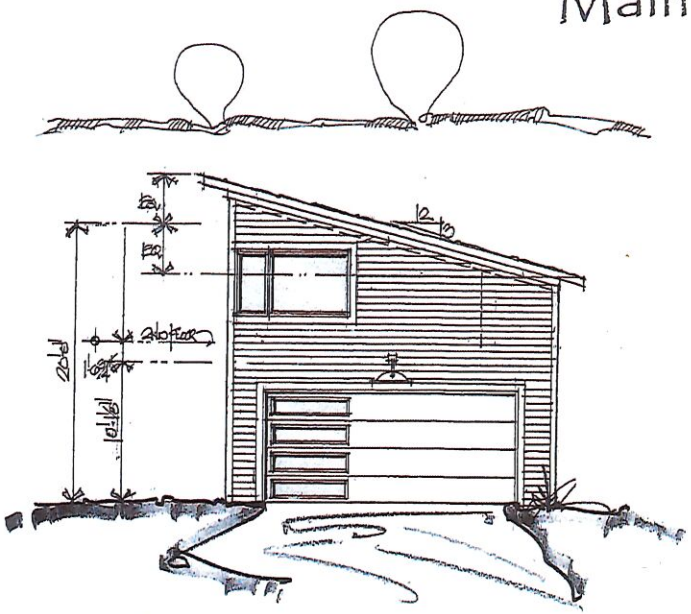
ATTACH #1

WINSTON DRIVE
(GRAVEL)
EXISTING BUILDING
OKAY TO ORDINANCE
OKAY TO ORDINANCE

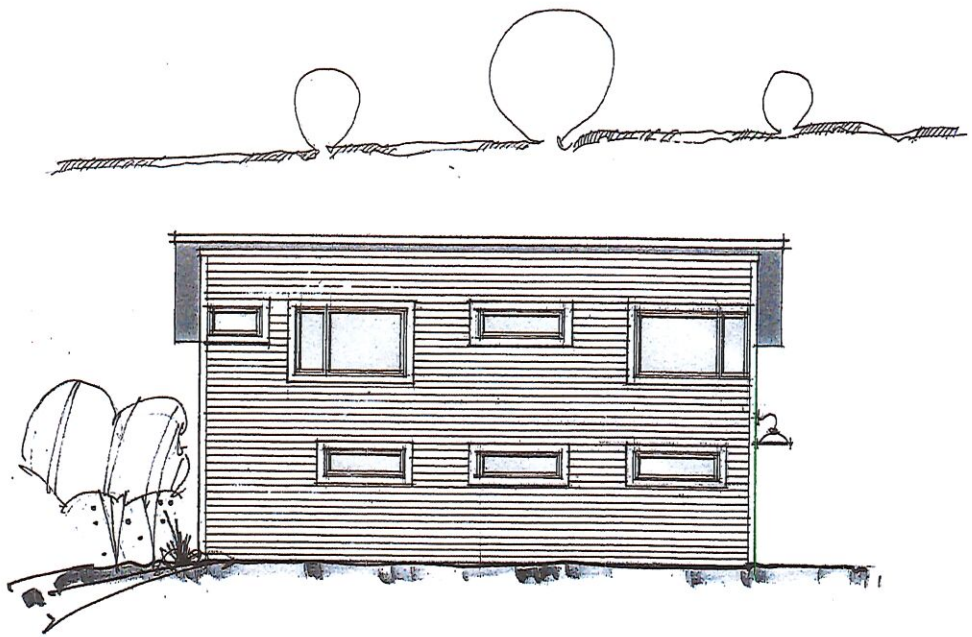
ATTACH #1

Selbert Residence

Main Street Homes



LAKE ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE – Concept Only

ATTACH #1

TR DESIGN GROUP

XXXXX SELBERT RESIDENCE v.1 11/03/23

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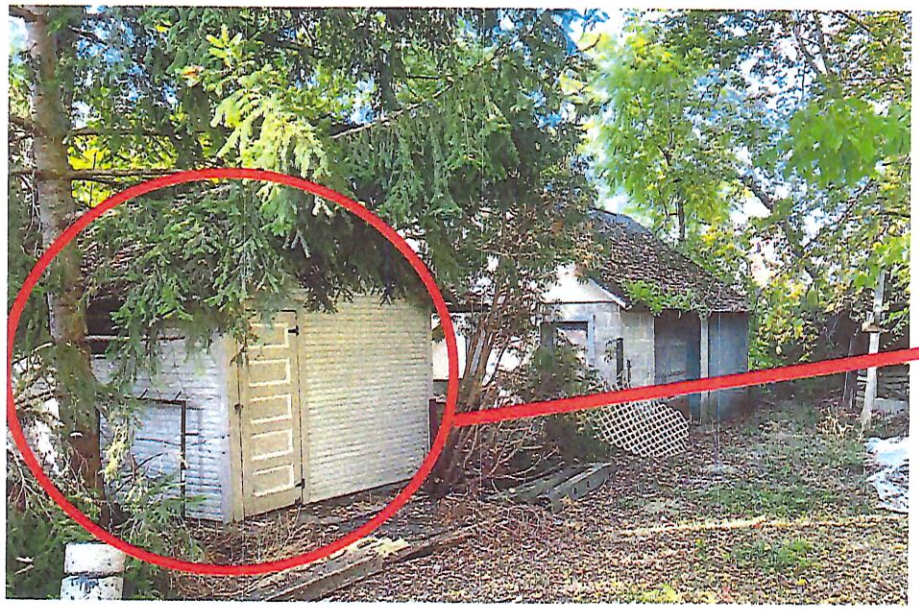
Artist renderings and floor plans are for illustration purposes only and are subject to change. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever. Nor are they to be assigned to any third party without first obtaining the express written permission and consent of TR Design Group, LLC.

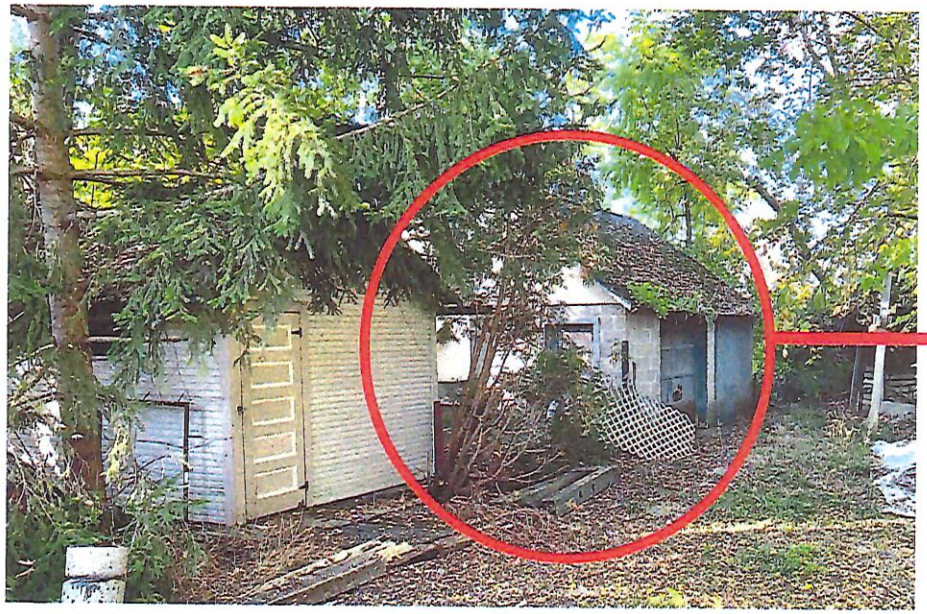
Parcel D -04-02-401-019 Garage Site

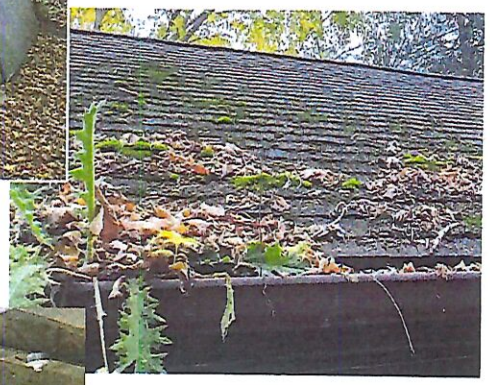


Building #1 is wood construction and wood floor with 170 sq ft. The wood is rotting with mold/mildew inside and Outside.

Attach #1

Parcel D -04-02-401-019 Garage Site





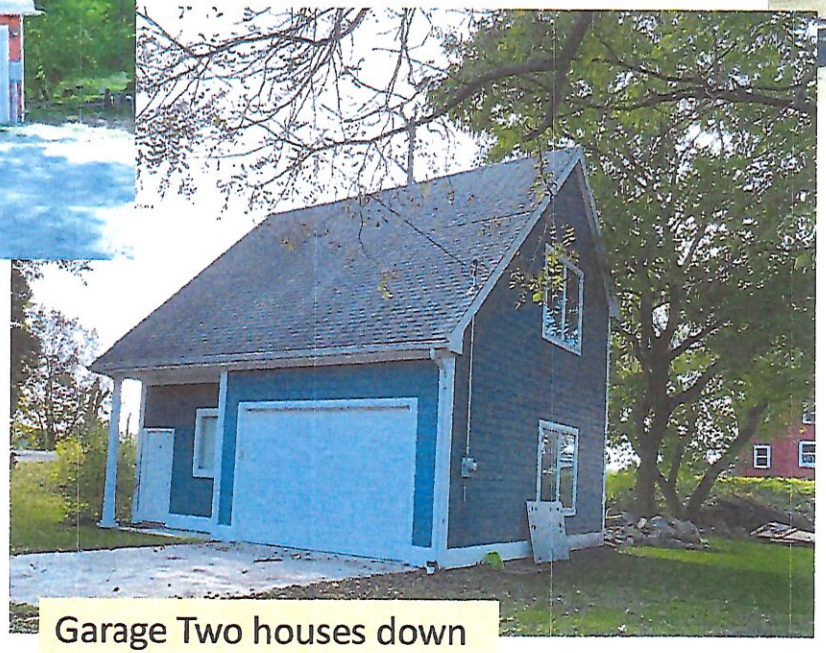
Building #2 is Cinder block wall construction with wood and shingle roof and 496 sq.ft.
The blocks and mortar are cracked and leaking and the wood is rotting with mold/mildew. The roof has mold, grass and weeds growing in and on it.

ATTACH #4

Parcel D -04-02-401-019 Garage Site

Garage next door at 9620 Winston Rd.

Garage down the street



Garage Two houses down

ATTACH #4

TOPOGRAPHIC AND BOUNDARY SURVEY

LEGEND

FCIP	FOUND CAPPED IRON PIPE
FCIR	FOUND CAPPED IRON ROD
FIP	FOUND IRON PIPE
F	FOUND MAG NAIL
F	FOUND MONUMENT
S	SET IRON ROD
	EXISTING FENCE POST
W	EXISTING WATER WELL
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING TREE
U.P.	EXISTING UTILITY POLE
860.00	EXISTING GROUND ELEVATION
	UNDERGROUND GAS MARKER
(R)	RECORD
(M)	MEASURED
	BOUNDARY LINE
	BOUNDARY ADJACENT LINE
OHE	OVERHEAD UTILITY LINE
860	EXISTING GROUND CONTOUR
	EXISTING BUILDING
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY

DESCRIPTION OF TAX PARCELS D-04-02-401-019 & D-04-02-403-002 (PER QUIT CLAIM DEED RECORDED IN LIBER 2139, PAGE 928, WASHTENAW COUNTY RECORDS):

ALL THOSE CERTAIN PIECES OR PARCELS OF LAND SITUATED IN THE TOWNSHIP OF DEXTER, COUNTY OF WASHTENAW AND STATE OF MICHIGAN, DESCRIBED AS FOLLOWS, TO-WIT:

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, COUNTY OF WASHTENAW, STATE OF MICHIGAN, AND DESCRIBED AS: PART OF THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION TWO, TOWN ONE SOUTH, RANGE FOUR EAST, MERIDIAN OF MICHIGAN AND DESCRIBED AS FOLLOWS: COMMENCING SOUTHEAST CORNER OF LOT ONE OF ELM GROVE SUBDIVISION OF A PART OF ABOVE DESCRIBED FORTY ACRES AND RUNNING THENCE SOUTH SIXTY-ONE DEGREES AND FORTY-ONE MINUTES WEST, ONE HUNDRED AND SEVENTEEN AND TWENTY-NINE ONE-HUNDREDTHS FEET; THENCE SOUTH FOURTEEN DEGREES AND TWELVE MINUTES EAST, NINETEEN AND SIXTY-ONE ONE-HUNDREDTHS FEET; THENCE NORTH SEVENTY DEGREES AND FORTY-THREE MINUTES EAST ONE HUNDRED AND FIFTEEN FEET; THENCE NORTH FOURTEEN DEGREES AND TWELVE MINUTES WEST; THIRTY-SEVEN AND SEVEN ONE-HUNDREDTHS FEET TO THE PLACE OF BEGINNING, RESERVING THEREFROM THE WESTERLY EIGHT FEET AND GRANTING A STRIP OF LAND EIGHT FEET WIDE ADJOINING THE ABOVE DESCRIBED PARCEL ON THE WESTERLY END FOR A RIGHT OF WAY SIXTEEN FEET WIDE. NO OBSTRUCTION WHATEVER TO BE BUILT IN THE LAKE AND NO OUTHOUSE OR TOILET TO BE BUILT ON PROPERTY UNLESS SANITARY.

REAL ESTATE LOCATED IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOT NUMBERED ONE (1), OF ELM GROVE, A SUBDIVISION OF A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST QUARTER OF SECTION TWO (2), TOWNSHIP ONE (1) SOUTH, RANGE FOUR (4) EAST, DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN. THE ABOVE PREMISES ARE FOR RESIDENTIAL PURPOSES ONLY.

REAL ESTATE LOCATED IN SECTION TWO (2) IN DEXTER TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
COMMENCING AT AN IRON STAKE WHERE THE ELM GROVE SUBDIVISION INTERSECTS WITH THE DEXTER AND PINCKNEY HIGHWAY, THENCE SOUTHERLY ALONG SAID HIGHWAY, THIRTY-NINE (39) FEET, THENCE EASTERLY NINETY-EIGHT (98) FEET, THENCE NORTHERLY FORTY-SEVEN FEET TO THE ELM GROVE SUBDIVISION, THENCE WESTERLY ALONG ELM GROVE SUBDIVISION ONE HUNDRED TWENTY-NINE (129) FEET MORE OR LESS TO THE PLACE OF BEGINNING. A STRIP OF LAND EIGHT (8) FEET WIDE AND FORTY-SEVEN (47) FEET LONG OFF THE EASTERLY END OF THIS LAND IS TO BE USED FOR THE RIGHT OF WAY ONLY. NO OUT HOUSE OR TOILET TO BE BUILT ON SAID PROPERTY UNLESS SANITARY. RIGHT TO USE WALK DEEDED AS PUBLIC WALK. THIS PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY.

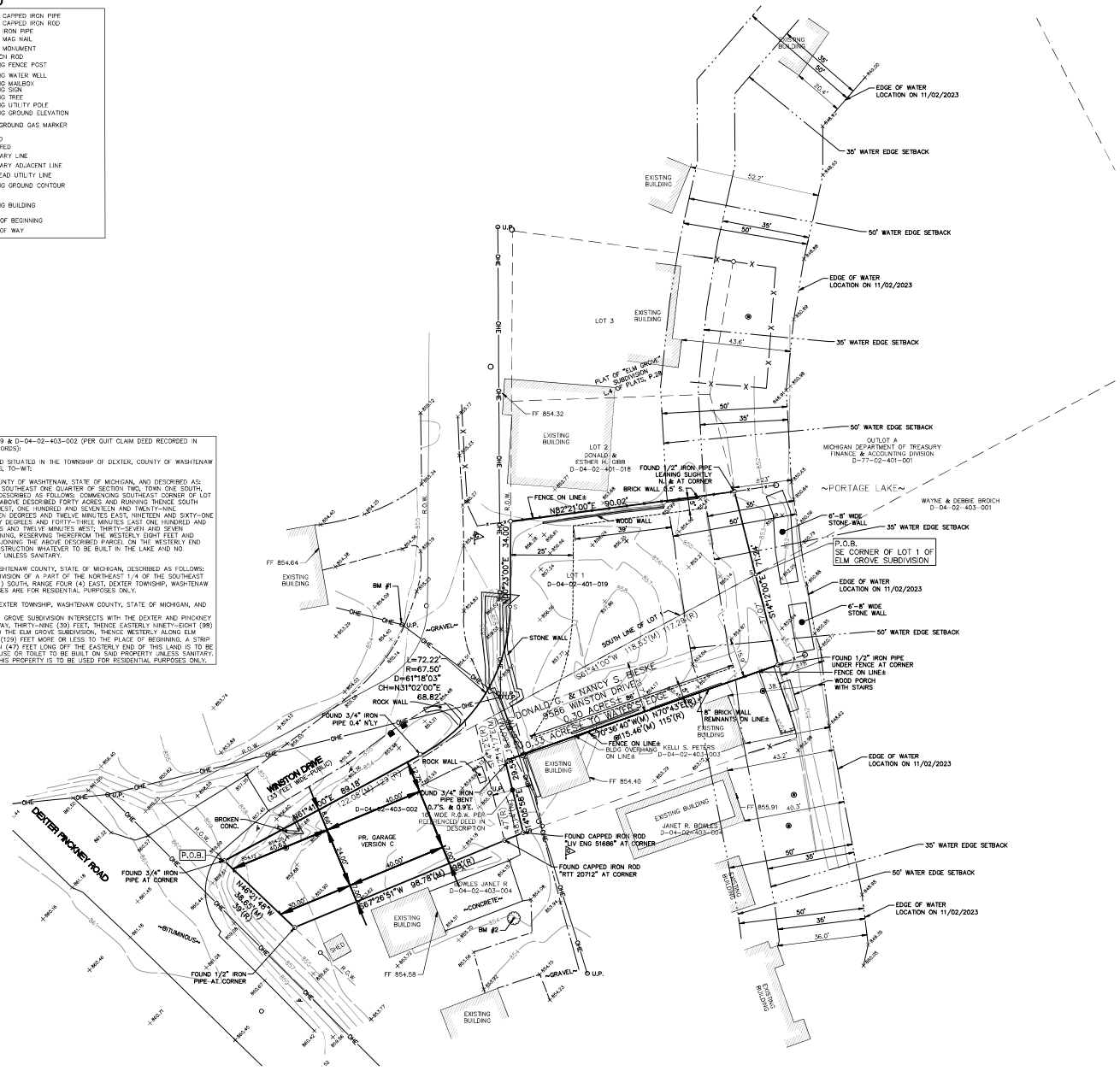
BENCHMARKS:
VERTICAL DATUM IS BASED ON NAVD88.

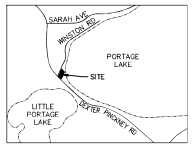
BM #1: MAG NAIL IN UTILITY POLE
ELEVATION: 855.51 (NAVD88)

BM #2: BENCH TIE IN TWIN 12" WALNUT
ELEVATION: 855.27 (NAVD88)

BASIS OF BEARING:

BEARINGS ARE BASED ON THE SOUTH LINE OF LOT 1 OF ELM GROVE SUBDIVISION, BEING N61°41'E.





VICINITY MAP
NOT TO SCALE

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR ATWELL, LLC THEREOF IS EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
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SOUTHFIELD, MI 48076
248.447.2000

SECTION 2
TOWNSHIP 1 SOUTH, RANGE 4 EAST
DEXTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DONALD BIESKE
PROPOSED GARAGE OPTION C
LOCATED IN

DATE
11/06/2023

REVISIONS

SCALE 0 10 20
1" = 20 FEET

DR. JER	CH. CPK
F.M. J. CECIL	
BOOK NA	
JOB 16001421	
SHEET NO. 1 OF 1	

CAD FILE: 16001421VS-13 TP-01 PROPOSED GARAGE OPTIONS 11-06-2023.DWG

Decision Criteria Review:

The Zoning Board of Appeals shall have the power to authorize specific variances from the standards of the Zoning Ordinance provided that the spirit of that Ordinance is observed, the public safety secured, and substantial justice done. All the required findings listed below shall be met and the record of proceedings of the Zoning Board of Appeals shall contain evidence supporting each conclusion.

A) Allow 8' and 12' road setback instead of 25' yard road setback.

(1) Practical Difficulty *29.06(C)(1)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
The strict application of the terms of this Ordinance would constitute a practical difficulty.	

(2) Physical Conditions *29.06(C)(2)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
The practical difficulty is due to some physical condition peculiar to the property involved.	

3) Self-Created *29.06(C)(3)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
The practical difficulty is not self-created.	

(4) Reasonable Amount Necessary *29.06(C)(4)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
The variance is a reasonable amount necessary to mitigate the practical difficulty.	

(5) Public Health, Safety, and Welfare *29.06(C)(5)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
Approval of the variance will not be injurious to the public health, safety, and welfare.	

(6) Adjacent Properties *29.06(C)(6)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
Approval of the variance will not affect the use of the adjacent properties or the area in a substantially adverse manner.	

(7) Intent of the Ordinance *29.06(C)(7)* **Does the requested variance meet the following standard:**	**A** 7.07(3) Footnotes – 25' Local Road Setback Exceptions
Approval of the variance is consistent with the intent and purpose of this Ordinance.	

Dexter Township

6880 Dexter-Pinckney Road

Dexter, MI 48130

Telephone: 734-426-3767

Fax: 734-426-3833

www.dextertownship.org

"A Community For All Seasons"

MEMORANDUM

To: Dexter Zoning Board of Appeals

From: Megan Masson-Minock, Township Planning Consultant

Subject: Draft Zoning Amendment to update Dimensional Variance Standards

Date: November 30, 2023

At its November 28, 2023 meeting, the Planning Commission reviewed a proposed zoning ordinance amendment to Section 29.06(C)(4) which is the criteria for the Zoning Board of Appeals to make decision on variances. Section 29.06(C)(4) read as follows:

4) ~~*Reasonable*~~ ***Minimum*** *Amount:* The variance is the minimum amount necessary to **reasonably** mitigate the practical difficulty.

When looking at case law and resources from Michigan State University Extension, the test is whether variance is the minimum necessary to provide substantial justice to the applicant. Therefore, it is critical that the word "minimum" be kept, as opposed to reasonable. The Planning Commission asked that "reasonably" be deleted from the proposed amendment.

The Planning Commission also asked that you be provided with the revised amendment (see attached) and would welcome any input from the Zoning Board of Appeals. We will also send a copy to the Township Attorney for review. A public hearing for this proposed amendment will be held at the Planning Commission's regular meeting on January 23, 2024.

ORDINANCE NO. _____

An ordinance to amend relevant portions of Section 29.06 to clarify the standards for granting variances.

IT IS HEREBY ORDAINED BY THE PEOPLE OF THE TOWNSHIP OF DEXTER:

SECTION 1. AMEND SECTION 29.06: VARIANCES, SUB-SECTION C: DECISION CRITERIA

(C) **Decision Criteria:** The Zoning Board of Appeals shall have the power to authorize specific variances from the developmental standards of this Ordinance if it finds, following a public hearing, that all the following are true:

5) *Practical Difficulty:* The strict application of the terms of this Ordinance would constitute a practical difficulty.

6) *Peculiar Physical Condition*: The practical difficulty is due to some physical condition peculiar to the property involved.

7) *Self-created:* The practical difficulty is not self-created.

8) ~~*Reasonable*~~ ***Minimum*** *Amount:* The variance is the minimum amount necessary to mitigate the practical difficulty.

9) *Health, Safety, and Welfare:* Approval of the variance will not be injurious to the public health, safety, and welfare.

10) *Adjacent Properties:* Approval of the variance will not affect the use of the adjacent properties or the area in a substantially adverse manner; and

11) *Intent and Purpose:* Approval of the variance is consistent with the intent and purpose of this Ordinance.

SECTION 2. SEVERABILITY: The provisions of this Ordinance are hereby declared to be severable and if any provision, section or part of this Ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall only affect the particular provisions, section or part involved in such decision and shall not affect or invalidate the remainder of such Ordinance, which shall continue in full force and effect.

SECTION 3. PUBLICATION: This ordinance shall be published in a newspaper of general circulation as required by law.

SECTION 4. EFFECTIVE DATE: This Ordinance shall become effective seven (7) days after its publication following final adoption or as required by law.

SECTION 5. REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

I, <insert>, Clerk of the Dexter Township, County of Washtenaw, State of Michigan hereby certify adoption of Ordinance No. 2024-___ by the Dexter Township Board of Trustees assembled at a Regular Meeting held on _____.

The motion to approve was made by member _____ and seconded by _____

YES: _____

ABSENT: _____

NO: None. _____

ABSTAIN: _____

_____

Clerk Dexter Township

Published: _____