



# DEXTER TOWNSHIP

## PLANNING COMMISSION

6880 DEXTER-PINCKNEY ROAD

DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

[WWW.DEXTERTOWNSHIP.ORG](http://WWW.DEXTERTOWNSHIP.ORG)

## PLANNING COMMISSION MEETING AGENDA

November 28, 2023

6:00 PM

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1. **Call to Order**
2. **Pledge of Allegiance**
3. **Conflict of Interest Review** (*Possible conflicts with agenda items*)
4. **Approval of Agenda**
5. **Public Comment** (*Comment on items that are not on the agenda. The Board will entertain public comments on agenda items as they come up for discussion.*)
6. **Public Hearings**
  - A. *Master Plan Public Hearing in accordance with the Michigan Planning Enabling Act*
  - B. *Cornman, LLC, Special Event Facility Site Plan and Special Land Use Amendment to replace event tent with building addition, with less floor area than the tent, enclose the walkway between the farmhouse and the red barn, and create an amphitheater.*
7. **Action Items**
  - A. *Master Plan Recommendation to Township Board*
  - B. *PSP23-PC-001: Preliminary site plan for Cornman, LLC, Special Event Facility*
  - C. *PSP23-PC-002: Special Land Use Amendment for Cornman, LLC, Special Event Facility*

**8. Discussion Items**

**A.** *Zoning Audit Report*

**B.** *Proposed Amendment to Section 29.06(C) Standards for Variance Review*

**9. Approval of Planning Commission Minutes – October 23, 2023**

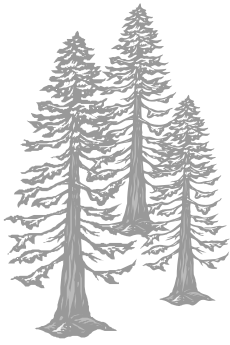
**10. Township Board of Trustees Update**

**11. Concerns of Planning Commission Members, Director of Planning & Zoning,  
Township Supervisor, & Recording Secretary**

**12. Public Comment** (*non-agenda items*)

**13. Future Agenda Items**

**14. Adjournment**



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MARTY STRAUB  
**CHAIR & ZBA REP.**  
BOB NESTER  
**VICE CHAIR**  
TOM LEWIS  
**SECRETARY**  
MARIS METZ  
**EX-OFFICIO TWP. BRD.**  
CHANDRA HURD  
CHRISTINA MAIER  
ALICIA ABBOTT  
**COMMISSIONERS**  
  
JANIS MILLER  
**RECORDING SECRETARY**

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### REGULAR MEETING OF THE PLANNING COMMISSION

#### Tuesday, October 24, 2023

Present: Marty Straub, Chairperson, Tom Lewis, Secretary; Chandra Hurd, Christina Maier, Alicia Abbott, and Maris Metz. Absent: Vice Chair Bob Nester.

Also present: Rowan Brady, Consultant with Beckett & Raeder, and Janis Miller, Recording Secretary.

1. **Call to Order:** Chairperson Straub called the meeting to order at 6:00 PM.
2. **Pledge of Allegiance:** Recited by all.
3. **Conflict of Interest:** No conflicts of interest.
4. **Approval of Agenda:**  
*Amending the agenda to include introduction of the new Zoning Officer. Chairperson Straub deemed the agenda approved with this addition.*
4. a) Chairperson Straub introduced the new Zoning Officer, Ashley Cepeda. The new Planner, Megan Masson-Minock, was not available tonight but will be attending the Planning Commission meetings in the future. Ashley introduced her background and what her duties would be at Dexter Township.
5. **Public Comment:** (non-agenda items) Opened 6:03 PM. No public present.
6. **Action Items:** No actionable items tonight.
7. **Discussion Items:**
  - A. Discussion of the Master Plan public comments received to date.  
Consultant Rowan stated that the sixty-five-day public review of the Master Plan was completed. He then reviewed each public comment (included in the board packets) seeking direction from the Commissioners as to changes for the Master Plan. Rowan will make the changes within two weeks so the final Planning Commission public hearing can be scheduled in November, before sending a recommendation, to the Dexter Township Board of Trustees, for adopting the Master Plan. Rowan will provide a .pdf file to upload the final Master Plan to the township website.
8. **Approval of Planning Commission Minutes:**  
*Moved by Lewis, seconded by Maier, to approve the meeting minutes of September 26, 2023 as presented. All Ayes. Motion carried.*

**9. Township Board of Trustees Update:** No report.

**10. Concerns of Commission Members, Director of Planning and Zoning, Supervisor, and Recording Secretary:**

**Zoning Officer Ashley Cepeda** offered to put together a comprehensive list of the ordinance updates and a monthly report on new and pending projects. Chairperson Straub thought that would be a good idea as the previous Director of Planning and Zoning gave a verbal report, nothing in writing.

**Chairperson Straub** pointed out that the December PC meeting was the day after Christmas and he suggested cancelling the meeting. The consensus was that the Commissioners did not want to meet after Christmas, so the December 26<sup>th</sup> meeting is cancelled with the caveat that Planner Megan Masson-Minock may call a special meeting in December.

**11. Public Comment:** Opened 7:28 PM. No public present.

**12. Future Agenda Items:** None.

**13. Adjournment:**

Motion by Lewis, seconded by Metz, to adjourn. Meeting adjourned at 7:30 PM.

Respectfully submitted,

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Tom Lewis, Secretary

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Janis Miller, Recording Secretary

*Documents regarding the agenda items can be obtained at the Township Hall during normal business hours, the Townships website: [www.dextertownship.org](http://www.dextertownship.org) and can be viewed on [ew.livestream.com/dextertownship.org](http://ew.livestream.com/dextertownship.org).*

APPLICATION FOR SITE PLAN APPROVAL  
TOWNSHIP OF DEXTER  
WASHTENAW COUNTY, MICHIGAN

FILE NO. \_\_\_\_\_

FEE \_\_\_\_\_ PAID ON \_\_\_\_\_

AMEND'T FILED ON \_\_\_\_\_

(PRELIMINARY) (FINAL) (AMENDED)

1. State or attach legal description and popular location of property:

04-36-400-002

2. Applicant

Name: CORN MAN, LLC

Address: 8940 ISLAND LAKE ROAD, DEXTER TOWNSHIP, MI 48130

Phone Number: 734-619-8100

Interest in Land: OWNER

List Others with Equitable Interest: \_\_\_\_\_

3. Site Planner's

Name: STONEFIELD ENGINEERING

Address: 607 SHELBY STREET #200, DETROIT, MI 48226

Phone Number: [REDACTED]

4. Architect's

Name: SIDWIDE STUDIO, ARCHITECTS

Address: 1145 W LONG LAKE ROAD #110, BLOOMFIELD HILLS, MI 48302

Phone Number: \_\_\_\_\_

5. Attach plans meeting the requirements of Sections 6, 18, 20, 21, 22, 23, and 24 as applicable.  
(You are encouraged to obtain a copy of the Zoning Ordinance prior to submitting this application)

6. Acreage of Property: 22.22; Dwelling Units/Acre: N/A

7. Cost of Land, Building(s): \$2M (EST.); Dwelling Units/Acre: N/A

8. Will Development be staged? NO; Est. Date of Initial Construction: APRIL 2024

The undersigned states that the foregoing statements and attachments are true and correct to the best of their knowledge and belief.

Date: 10.31.23

Signed: [Signature]

(ARCHITECT)

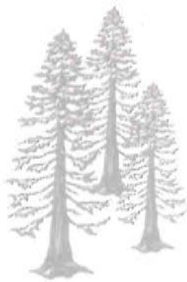
X T. Mason

The Planning Commission has reviewed the proposed (preliminary) (final) (amended) site plan in accordance with the specifications in Sections 6, 18, 20, 21, 22, 23, and 24 of the Dexter Township Zoning Ordinance and taken the following action:

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Chairperson)

\_\_\_\_\_  
(Secretary)



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## VARIANCE APPLICATION FORM

File #: -ZBA-

Received on:

Fee: \$

Receipt #:

<b>(1) Applicant Information:</b> (the person(s) applying for the variance(s))		<b>(2) Owner Information:</b> (the person(s) owning the property)	
a. <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent for the Owner (check one)		a. <input type="checkbox"/> Same as Applicant (check if appropriate)	
b. Name(s) <u>BRADLEY DEVRIES</u> <u>SLOWTIDE STUDIO, ARCHITECTS</u>		b. Name(s) (if different from applicant) <u>CORN MAN, LLC</u>	
c. Mailing Address <u>1145 W LONG LAKE ROAD, SUITE 110</u> <u>BLOOMFIELD HILLS, MI 48302</u>		c. Mailing Address (if different from applicant's mailing address) <u>8540 ISLAND LAKE ROAD</u> <u>DEXTER TOWNSHIP, MI 48130</u>	
d. Phone Number [REDACTED]		d. Phone Number (if different from applicant's phone number) [REDACTED]	
e. Email <u>BDEV @ SLOWTIDE.STUDIO</u>		e. Email (if different from applicant's email) <u>TMASON @ ZINGERMANS.COM</u>	
<b>(3) Property Information:</b> (property where the variance is being requested)			
a. Physical Address (city and zip code not required) <u>8540 ISLAND LAKE ROAD</u>		d. Size and nature of existing structures on and uses of the property: <u>THE CURRENT USE IS SPECIAL EVENT FACILITY, WHICH SHALL REMAIN.</u> <u>CURRENTLY SEVERAL BUILDINGS EXIST ON PROPERTY FROM SIMPLE ALKARIAN BUILDINGS TO A FARM HOUSE AND EVENT BARN. CURRENT BUILDING SIZE IS 22,472 INCLUDING TEMP. TENT STRUCTURE.</u>	
b. Parcel/Tax ID Number(s) <u>04 - 36 - 400 - 002</u>			
c. Zoning District (circle one) PL AG RC <u>RR</u> LR CU MHPR C-1			
<b>(4) Application Checklist:</b> Check all of the information that is included as part of this application. Items a-e are required for all variance applications.			
Item and Description	YES	NO	Attachment Number
a. <b>Application.</b> A completed variance application signed by the applicant and the property owner(s).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	n/a
b. <b>Application Fee.</b> Cash or check to Dexter Township, as outlined in the current fee schedule.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	n/a
c. <b>Site Plan or Plot Plan.</b> A complete plot or site plan, as outlined in §26.03 or §27.09 of the Zoning Ordinance. One (1) copy is required if the Township is able to make reproductions (legible letter, legal or 11x17 sheets). Eight (8) copies are required if the Township is not able to make reproductions (larger sheets, color prints, etc). Please contact staff if you have any questions before submitting this application.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
d. <b>Legal Description.</b> A legal description of the property for which the variance is being requested.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
e. <b>Survey.</b> A mortgage or boundary survey of the property for which the variance is being requested.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
f. <b>Building Plans.</b> Plans illustrating the floor plans, elevations, and sections of buildings or details of the structure. Required for all variance applications involving a structure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
g. <b>Sewer District Approval.</b> Approval of the Multi-Lakes Water and Sewer Authority or the Portage Lakes Area Water and Sewer Authority. Required for all properties located within a sewer district.	<input type="checkbox"/>	<input type="checkbox"/>	N/A
h. <b>Decision Criteria Answers.</b> Answers to the decision criteria, if not fully completed in Section 7 of this application.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
i. <b>Letters of Support.</b> Letters of support or non-objection from neighboring property owners or signatures on a petition.	<input type="checkbox"/>	<input type="checkbox"/>	
j. <b>Pictures.</b> Pictures of the property and the area affected by the variance request.	<input type="checkbox"/>	<input type="checkbox"/>	
k. <b>Other.</b> Describe:	<input type="checkbox"/>	<input type="checkbox"/>	
<b>(5) Project Description:</b> Describe the project in general- what is being built, how big is it, etc.			
<u>CORNMAN FARMS IS A HISTORIC, MULTI-AWARD WINNING EVENT SPACE, WEDDING VENUE, AND CULINARY DESTINATION. THE PROPOSED SCOPE LOOKS TO REINFORCE AND ENHANCE THE EXISTING PROGRAM. THE PRIMARY SCOPE INCLUDES REPLACING THE TENT STRUCTURE W/ A MUCH SMALLER PERMANENT BUILDING AND ENLARGING THE WALKWAY BETWEEN THE (E) FARMHOUSE AND (E) RED BARN.</u>			

# VARIANCE APPLICATION FORM

File #: -ZBA-

(6) **Variance(s) Description:** Describe the variance(s) being requested. Attach additional sheets if necessary.

a. Ordinance Section	b. Requested	c. Required	d. Description of Variance Request
a) 16.12	24,325	11,543	REQUESTING AN INCREASE IN MAX LOT COVERAGE FOR BUILDINGS.
b)			
c)			
d)			
e)			
f)			
g)			

(7) **Decision Criteria Answers:** Please describe how you think your variance(s) meets all of the following standards. Attach additional sheets if necessary. You will have an opportunity to provide additional information and address these decision criteria at the public hearing.

- a. The strict application of the terms of this Ordinance would constitute a practical difficulty. §29.06(C)(1)  
 THE ORDINANCE ALLOWS FOR A FLAT 11,543 SF FOR ALL LOTS OVER 5 ACRES IN THE RR DISTRICT, REGARDLESS OF LOT SIZE. THE PRINCIPAL LOT IS NEARLY 4.5 X THE SIZE UP TO THE TABLE AT 22.32 ACRES. IT IS MORE THAN SIX WHEN CONSIDERING ALL 3 PARCELS
- b. The practical difficulty is due to some physical condition peculiar to the property involved. §29.06(C)(2)  
 THE PRINCIPAL LOT IS MUCH LARGER THAN THE EXTENT OF THE TABLE.
- c. The practical difficulty is not self-created. §29.06(C)(3)  
 CORNMAN AND ITS AGENTS DID NOT CREATE THE PRACTICAL DIFFICULTY.
- d. The variance is a reasonable amount necessary to mitigate the practical difficulty. §29.06(C)(4)  
 THE REQUEST WOULD BE FOR 24,325 SF OR 2.5% OF BUILDING COVERAGE, WHICH PERCENTAGE WISE IS LESS THAN HALF THE ALLOWABLE PERCENTAGE IN THE TABLE. FURTHERMORE, ALL NEW STRUCTURES ARE FURTHER FROM LOT LINES THAN (E) STRUCTURES.
- e. Approval of the variance will not be injurious to the public health, safety, and welfare. §29.06(C)(5)  
 THERE WILL BE NO IMPACTS ON THE PUBLIC HEALTH, SAFETY, AND WELFARE.
- f. Approval of the variance will not affect the use or value of the adjacent properties or the area in a substantially adverse manner. §29.06(C)(6)  
 THE PROPOSED STRUCTURES WILL BE LOCATED FURTHER FROM LOT LINES THAN CURRENT STRUCTURES AND THE TEMPORARY TENT, WHICH IS AN EYESORE, WILL NOT BE ERECTED AGAIN AFTER CONSTRUCTION IS COMPLETE; THEREFORE NO NEGATIVE AFFECT ON NEIGHBORING PROPERTY.
- g. Approval of the variance is consistent with the intent and purpose of this Ordinance. §29.06(C)(7)  
 YES, BECAUSE THE ALLOWABLE MAX BUILDING COVERAGES IN THE ORDINANCE ARE MUCH GREATER ON A PERCENTAGE BASIS THAN OUR PROPOSED INCREASE.
- h. ☐ I prefer not to share these decision criteria answers with the Zoning Board of Appeals members.

# VARIANCE APPLICATION FORM

File #: -ZBA-

## (8) Applicant(s) Affidavit: (to be signed and dated by the applicant)

- I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.
- I acknowledge that approval of a variance only grants that which was presented to the Zoning Board of Appeals.
- I acknowledge that I have received and reviewed the Dexter Township "Variance Guide" booklet.
- I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.
- I understand that I must post the public notice sign and mark the location of proposed structure and lot corners and lot lines of my lot that are within 100 feet of the proposed structure at least 15 days before the public hearing date.
- I understand that the house or property must be marked with the street address clearly visible from the roadway.
- I understand that a Zoning Permit is required prior to construction if a variance is granted.

Applicant's Signature

Date

Applicant's Signature

Date

## (9) Property Owner(s) Affidavit: (to be signed and dated by the property owner(s) if the applicant is not the property owner- it should be signed by all property owners.)

I, TARITHA MASON, hereby state that I am the owner of the property described in this application and that I have authorized BRADLEY DEVRIES to act as my agent for the purpose of obtaining the variance(s) described in this application.

Property Owner's Signature

Date

Property Owner's Signature

Date

## (10) Administrative Section:

☐ **Request Approved**  
(List conditions- if any.)

☐ **Request Denied**  
(List reasons.)

☐ **Request Amended**

New file #

Date Submitted:

**SPECIAL LAND USE APPLICATION  
TOWNSHIP OF DEXTER  
WASHTENAW COUNTY, MICHIGAN**

For Official Use Only

File No. \_\_\_\_\_ Date: \_\_\_\_\_

( ) Applicant ( ) Township Clerk

( ) Planning Commission ( ) Register of Deeds

( ) Zoning Administrator

1. Applicant: Name: CORN MAN, LLC  
Address: 8540 ISLAND LAKE ROAD, DEXTER TOWNSHIP MI 48130  
Phone Number: 734-619-8100  
Interest in Land: OWNER

2. Proposed Use:

SPECIAL EVENT FACILITY.

3. List Others with Equitable Interest:

4. Attach Legal Description, Tax Description, and Popular Location of Property:

5. List all persons within 300 feet of the above described premises to whom any real property is assessed and or occupy single and two-family dwellings and note their address:

6. Attach an accurate survey and site plan of property and indicate activities, thereon, showing existing and proposed location of all buildings. The types, thereof, and their use.

Attach statements and supporting data, exhibits, etc., showing that you will meet the standards of articles 7 and 16 of the Dexter Township Zoning Ordinance. ***(You are encouraged to obtain a copy of the Zoning Ordinance prior to submitting this application.)***

The undersigned states that the foregoing statements and attachments are true and correct to the best of their knowledge and belief.

Date: 10.31.23

Signed: X T. Moser

A. NOTICE OF PUBLIC HEARING was mailed on \_\_\_\_\_ to be received at least 15 days before the date of the PUBLIC HEARING which was held on \_\_\_\_\_ whose notice was also published in the \_\_\_\_\_ NEWSPAPER(s) on \_\_\_\_\_

B. The Planning Commission reviewed the particular circumstances of the above proposed use relative to Articles 6 and 16 and (approved) (disapproved) same on \_\_\_\_\_, 20\_\_\_\_. (Evidence supporting disapproval of proposed use is attached.)

C. Conditions imposed on the use of the above described property. Breach of such conditions shall automatically invalidate this permit.

DATE

CHAIRMAN

SECRETARY



SLOWTIDE.STUDIO,  
ARCHITECTS

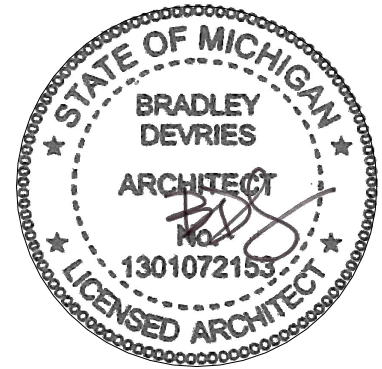
1145 W LONG LAKE ROAD - SUITE 110  
BLOOMFIELD HILLS - MICHIGAN - 48302  
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

TITLE SHEET

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS



PROJECT ISSUE DATE:  
10 - 31 - 2023

G-  
0.01

<div>1. DO NOT SCALE DRAWINGS. CONSULT OWNER IF DIMENSIONAL QUESTION ARISES.</div> <div>2. CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.</div> <div>3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES/LAWS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.</div> <div>4. ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARD, FITTING, AND BLOCKING SHALL BE PRESSURE TREATED/UL CERTIFIED NON-COMBUSTIBLE.</div> <div>5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE.</div> <div>6. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENDING WORK OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.</div> <div>7. COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.</div> <div>8. WHERE INTERFACES DEVELOP, NOTIFY OWNER FOR RESOLUTION OF CONFLICT.</div> <div>9. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK ON ALL SHEETS WITHIN, NOT JUST SHEETS NAMED IN ACCORDANCE WITH TRADE NAME.</div> <div>10. ALL DRAWINGS WITHIN SET ARE SET ON ARCH D (24" X 36") PAPER.</div>		<div>CORNMAN FARMS</div> <div>8540 ISLAND LAKE ROAD - DEXTER - MICHIGAN - 48130</div> <div>SITE PLAN REVIEW &amp; SPECIAL LAND USE DOCUMENTS</div> <div>10 - 31 - 2023</div>																	
PROJECT NOTES12																			
<div><table><tr><td></td><td>12</td><td>9</td><td>6</td><td>3</td></tr><tr><td></td><td>11</td><td>8</td><td>5</td><td>2</td></tr><tr><td></td><td>10</td><td>7</td><td>4</td><td>1</td></tr></table></div> <div>USE THE SHEET INDEX GRID AS A REFERENCE TO LOCATE DRAWINGS ON INDIVIDUAL SHEETS WITHIN THE SET.</div>			12	9	6	3		11	8	5	2		10	7	4	1	<div>2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCB)</div> <div>2015 MICHIGAN MECHANICAL CODE (MMC)</div> <div>2018 MICHIGAN PLUMBING CODE (MPC)</div> <div>2017 NATIONAL ELECTRIC CODE, WITH PART 8 AMENDMENTS (NEC)</div> <div>2013 STANDARD, ASHRAE 90.1</div> <div>2009 STANDARD, ANSI A117.1</div>	<div>ZINGERMAN'S CORNMAN FARMS IS A HISTORIC, MULTI-AWARD WINNING EVENT SPACE, WEDDING VENUE, AND CULINARY DESTINATION.</div> <div>THE EXISTING PROPERTY PROMINENTLY FEATURES A GREEK REVIVAL FARMHOUSE ORIGINALLY BUILT IN 1834. A HISTORIC RED BARN ORIGINAL CONSTRUCTED IN 1837, SEVERAL AGRICULTURAL BUILDINGS, EXTENSIVE GARDENS, AND PICTURESQUE VISTAS, ALL ON A WORKING FARM.</div> <div>THE PROPSD SCOPE LOOKS TO RECONFIGURE AND ENHANCE THE EXISTING PROGRAM THROUGH SIX MAJOR ELEMENTS, ALONG WITH THE REQUISITE MINOR SCOPE TO CREATE A COHESIVE AND FUNCTIONAL END PRODUCT. THOSE SIX MAJOR ELEMENTS ARE AS FOLLOWS:</div> <div>1. AN ENCLOSED WALKWAY FROM THE FARMHOUSE TO THE RED BARN, ENCAPSULATING THE EXISTING SMOKER</div> <div>2. A NEW SERVICE FOCUSED ADDITION TO THE LOWER LEVEL OF THE RED BARN</div> <div>3. A NEW PAVILION AND PATIO TO THE SOUTHWEST OF THE RED BARN FOR YEAR-ROUND CEREMONIES</div> <div>4. A NEW GARDEN AMPITHEATRE TO THE WEST OF THE RED BARN FOR OUTDOOR CEREMONIES</div> <div>5. A NEW COVERING OVER THE EXISTING WALKWAY FROM THE TRAFFIC CIRCLE TO THE RED BARN</div> <div>6. CONVERSION OF A PORTION OF THE EXISTING STORAGE BARN TO A PRIVATE GROOM'S SUITE.</div> <div>THE SCOPE IS TO INCLUDE THE NECESSARY MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL UPGRADES, INCLUDING EXPANSION OF THE EXISTING STORMWATER RETENTION SYSTEM AND OTHER LANDSCAPING REQUIREMENTS. THE PROJECT WILL HAVE NO NEGATIVE IMPACTS ON THE ENVIRONMENT.</div> <div>THE PROPOSED SCOPE WILL NOT INCLUDE ANY MODIFICATIONS OR ADDITIONS TO THE EXISTING ACCESS DRIVES OR PARKING ACCOMMODATIONS.</div> <div>THE PROPOSED SCOPE WILL REQUIRE A VARIANCE TO INCREASE THE ALLOWABLE LOT COVERAGE PERCENTAGE OF BUILDINGS. THE REQUEST WILL INCLUDE ADDITIONAL SQUARE FOOTAGE TO ACCOMMODATE FUTURE EXPANSION.</div> <div>AT THIS TIME, IT IS PROPOSED THAT CONSTRUCTION WILL TAKE PLACE IN THE SPRING OF 2024 AND WILL BE COMPLETED IN A SINGLE PHASE OVER A 12 MONTH PERIOD.</div>	<div>G- 0.01 TITLE SHEET</div> <div>G- 0.02 GENERAL NOTES</div> <div>G- 0.03 CODE &amp; ORDINANCE REVIEW</div> <div>G- 0.05 SCHEDULES - PROJECT</div> <div>C- 1.01 PROPOSED SITE PLAN - OVERALL, ARCHITECTURAL</div> <div>C- 1.02 PROPOSED SITE PLAN - SCOPE, ARCHITECTURAL</div> <div>C-1 COVER SHEET (STONEFIELD ENGINEERING)</div> <div>C-2 OVERALL SITE PLAN (STONEFIELD ENGINEERING)</div> <div>C-3 DEMOLITION PLAN (STONEFIELD ENGINEERING)</div> <div>C-4 SITE PLAN (STONEFIELD ENGINEERING)</div> <div>C-5 GRADING PLAN (STONEFIELD ENGINEERING)</div> <div>C-6 STORMWATER MANAGEMENT &amp; UTILITY PLAN</div> <div>C-7 LANDSCAPING PLAN (STONEFIELD ENGINEERING)</div> <div>C-8 CONSTRUCTION DETAILS (STONEFIELD ENGINEERING)</div> <div>C-9 ALTA / NSPS LAND TITLE SURVEY, 1 OF 4 (KEM-TEC)</div> <div>C-10 ALTA / NSPS LAND TITLE SURVEY, 2 OF 4 (KEM-TEC)</div> <div>C-11 ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)</div> <div>C-12 ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)</div> <div>A- 1.00 FLOOR PLAN - LOWER LEVEL</div> <div>A- 1.01 FLOOR PLAN - FIRST FLOOR</div> <div>A- 1.02 FLOOR PLAN - SECOND FLOOR &amp; BASEMENT</div> <div>A- 1.40 ROOF PLAN</div> <div>A- 2.01 ELEVATIONS - EXTERIOR</div> <div>A- 2.02 ELEVATIONS - EXTERIOR</div> <div>A- 2.03 ELEVATIONS - EXTERIOR</div> <div>ES- 101 ELECTRICAL SITE PLAN (WPF ENGINEERING)</div>
	12	9	6	3															
	11	8	5	2															
	10	7	4	1															
SHEET INDEX11		APPLICABLE CODES8																	
<div>ARCHITECT</div> <div>SLOWTIDE.STUDIO, ARCHITECTS 1145 W. LONG LAKE ROAD, SUITE 110 BLOOMFIELD HILLS - MICHIGAN - 48302</div> <div>CONTACT - BRADLEY DEVRIES T - 248 - 891 - 2737 E - BDV @ SLOWTIDE.STUDIO</div> <div>PROPERTY OWNER</div> <div>CORN MAN, LLC 8540 ISLAND LAKE ROAD DEXTER TOWNSHIP - MICHIGAN - 48130</div> <div>CONTACT - TABITHA MASON T - 989 - 284 - 1139 E - TMASON @ ZINGERMANS.COM</div> <div>GENERAL CONTRACTOR</div> <div>TO BE DETERMINED</div> <div>SURVEYOR</div> <div>KEM-TEC 22556 GRATIOT AVENUE EASTPOINTE - MICHIGAN - 48021</div> <div>CONTACT - RENATA GARBARINO T - 586 - 772 - 2222 E - RGARBARINO @ KEMTEC-SURVEY.COM</div> <div>STRUCTURAL ENGINEER</div> <div>WAGNER ENGINEERING, LLC 210 N MILL STREET PLYMOUTH - MICHIGAN - 48170</div> <div>CONTACT - ADAM WAGNER T - 734 - 392 - 7034 E - ADAM @ WAGNERENGINEERING.COM</div> <div>CIVIL ENGINEER</div> <div>STONEFIELD ENGINEERING 607 SHELBY STREET, SUITE 200 DETROIT - MICHIGAN - 48226</div> <div>CONTACT - MICHAEL GOLD T - 313 - 949 - 350 - 0508 E - MGOLD@STONEFIELDENG.COM</div> <div>MECHANICAL / PLUMBING ENGINEER</div> <div>GREENPATH DESIGN 139 W. LIBERTY STREET PLYMOUTH - MICHIGAN - 48170</div> <div>CONTACT - KELLY SUGG T - 248 - 310 - 7286 E - KSUGG @ GREENPATH.DESIGN</div> <div>ELECTRICAL ENGINEER</div> <div>WPF ENGINEERING, LLC 8200 PEACHTREE AVENUE ROCKFORD - MICHIGAN - 49341</div> <div>CONTACT - MIKE JOHNSON T - 616 - 835 - 0459 E - MJOHNSON @ WPF-ENGINEERING.COM</div>		<div>PROPERTY INFORMATION:</div> <div>PARCEL 1 (SUBJECT)</div> <div>ADDRESS 8540 ISLAND LAKE ROAD, DEXTER TOWNSHIP</div> <div>PARCEL ID 04-36-400-002</div> <div>ZONING RURAL RESIDENTIAL</div> <div>LOT AREA 972,527 SF, 22.32 ACRES</div> <div>PARCEL 2 (SUPPLEMENTARY)</div> <div>ADDRESS 8510 ISLAND LAKE ROAD, WEBSTER TOWNSHIP</div> <div>PARCEL ID 03-31-300-003</div> <div>ZONING R-1 RURAL RESIDENTIAL</div> <div>LOT AREA 37,808 SF, 0.86 ACRES</div> <div>PARCEL 3 (SUPPLEMENTARY)</div> <div>ADDRESS 8474 ISLAND LAKE ROAD, WEBSTER TOWNSHIP</div> <div>PARCEL ID 03-31-300-011</div> <div>ZONING R-1 RURAL RESIDENTIAL</div> <div>LOT AREA 129,977 SF, 2.98 ACRES</div> <div>TOTALS *</div> <div>PROPERTY AREA 1,140,312 SF,26.16 ACRES</div> <div>NUMBER OF BUILDINGS 10</div> <div>BUILDING AREA 26,075 SF (2.29%) **</div> <div>IMPERVIOUS SURFACE AREA 110,820 SF (9.72%) **</div> <div>* TOTALS ARE REFLECTIVE OF EXISTING, NEW, &amp; FUTURE SCOPE</div> <div>** SEE SHEET G-0.03 FOR MORE DETAILED CODE REVIEW INFORMATION</div>	<div>PROJECT DESCRIPTION5</div> <div></div>																
PROJECT DIRECTORY10		PROJECT INFORMATION7		VICINITY MAP NOT TO SCALE4															
				SHEET LIST1															

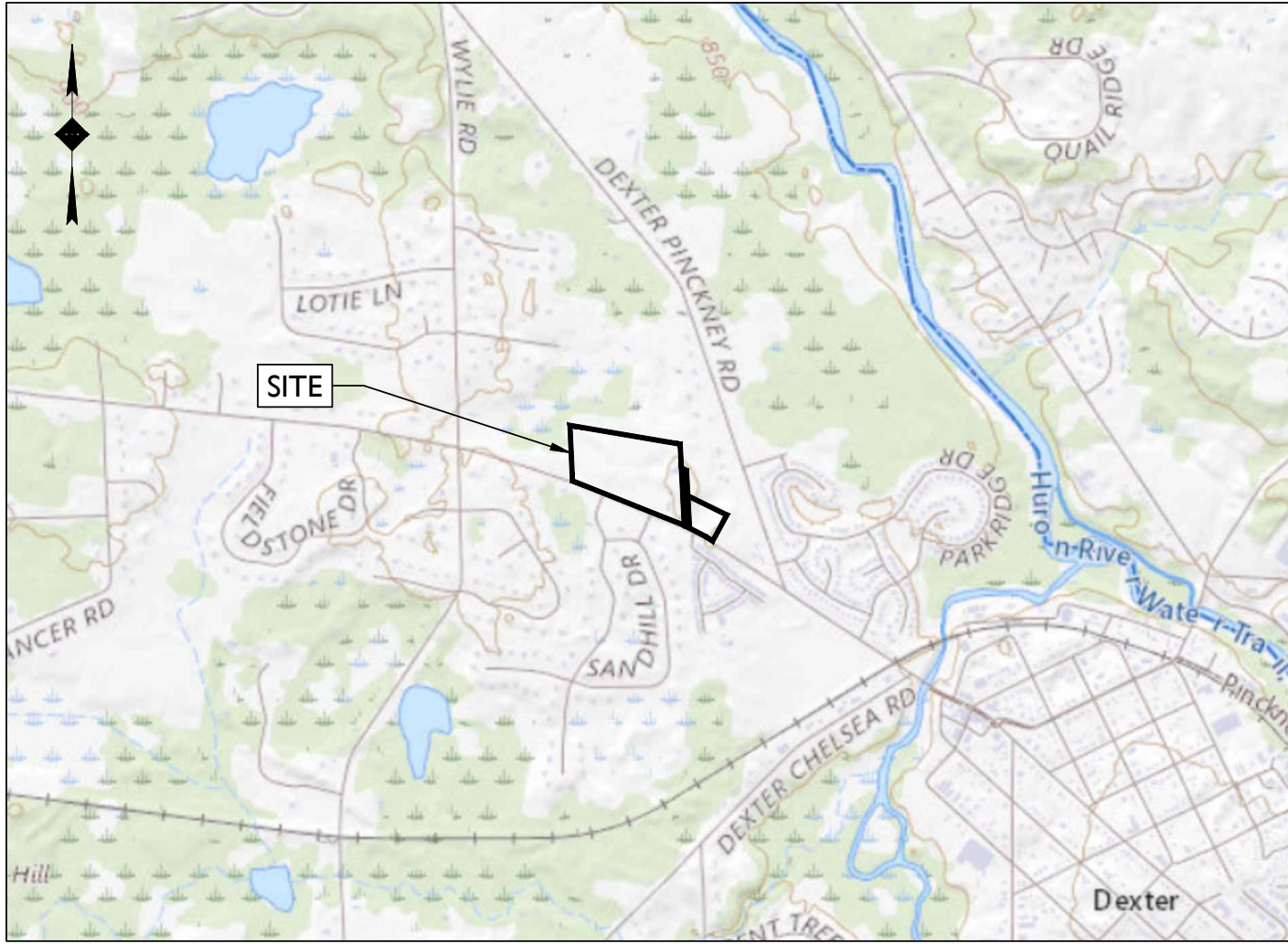
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ITEM	SPECIFICATION	
MT-1 BRAKE METAL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR ALUMINUM BREAK METAL DARK BRONZE OR BLACK ANODIZED TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER PROVIDE APPROPRIATE GAUGE PER APPLICATION
MT-2 DECORATIVE STEEL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PAINTED STEEL DARK BRONZE OR BLACK TO MATCH STOREFRONT SYSTEMS SEMI-GLOSS PROVIDE APPROPRIATE PRIME & FINISH COATS FOR EXTERIOR EXPOSURE
MT-3 METAL ROOF	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR HIGH RIB INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH SIDING & ENERGY CODE
PT-1 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH RED BARN FASCIA, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-2 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH FARMHOUSE, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-3 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "BLACK OR DK BRONZE", TO MATCH PAVILION, TO BE CONFIRMED BY ARCH. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-4 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH RED BARN DOORS, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
PT-5 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "RED", TO MATCH STORAGE BARN, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.
SD-1 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR RECLAIMED VERTICAL BARN SIDING TO MATCH RED BARN TO MATCH RED BARN TO MATCH RED BARN
SD-2 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR HORIZONTAL CLAPBOARD SIDING TO FARMHOUSE TO MATCH FARMHOUSE TO MATCH FARMHOUSE ALIGN TO FARMHOUSE
SD-3 STONE VENEER	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR STONE VENEER TO MATCH RED BARN, SMOKER TO MATCH RED BARN, SMOKER TO MATCH RED BARN, SMOKER
SD-4 METAL SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR RIBBED INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH ROOF & ENERGY CODE
SN-1 ASPHALT SHINGLE	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR DIMENSIONAL ASPHALT SHINGLE "DARK GREY" TO MATCH (E) ASPHALT SHINGLE ROOFS PER MANUFACTURER PROVIDE FULL ICE AND WATER SHIELD
NOTE: ALL FINISHES SUBJECT TO CHANGE. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS		







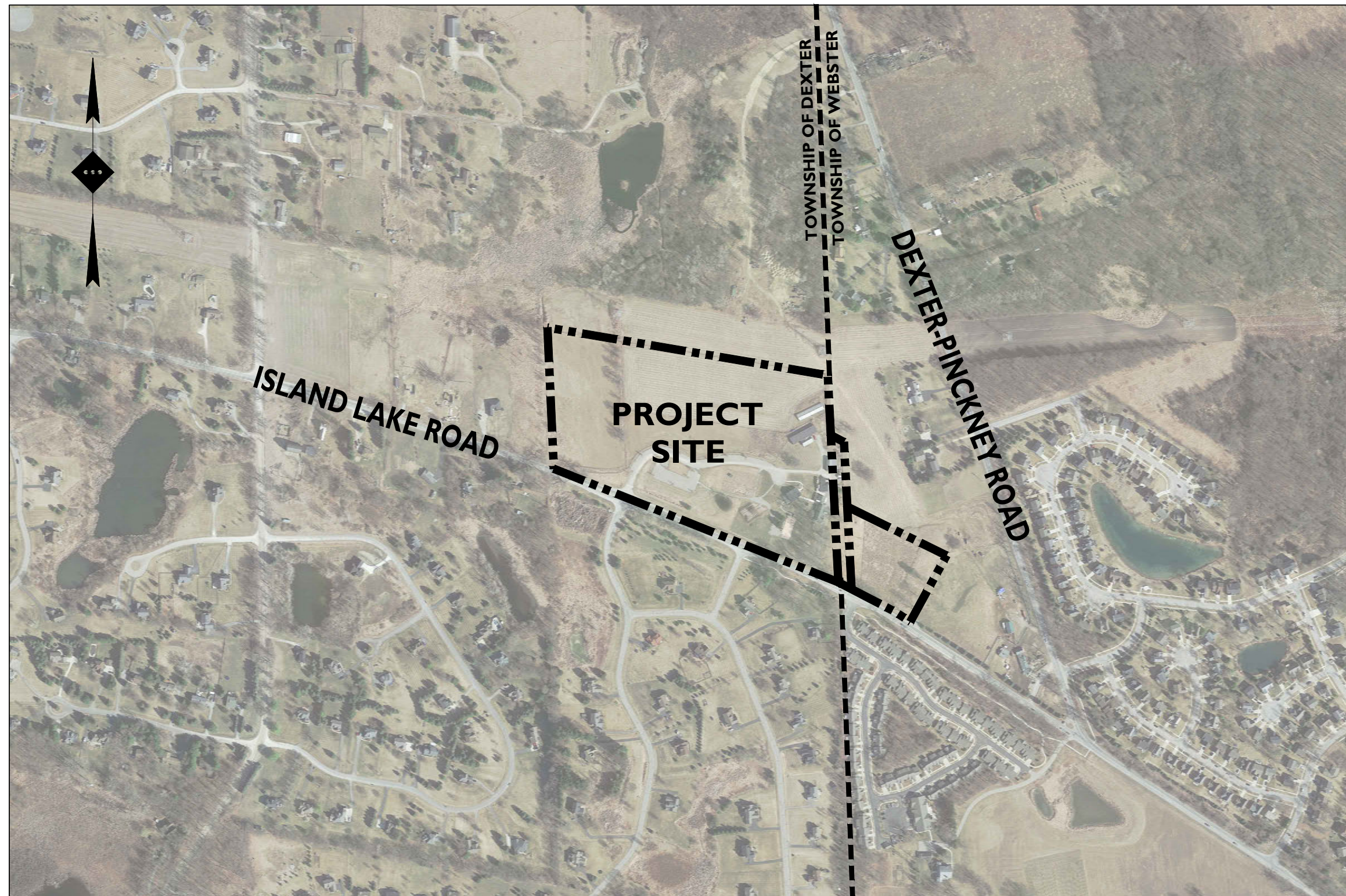
SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±

SITE IMPROVEMENT PLANS  
FOR  
CORNMAN FARMS  
PROPOSED BUILDING ADDITION

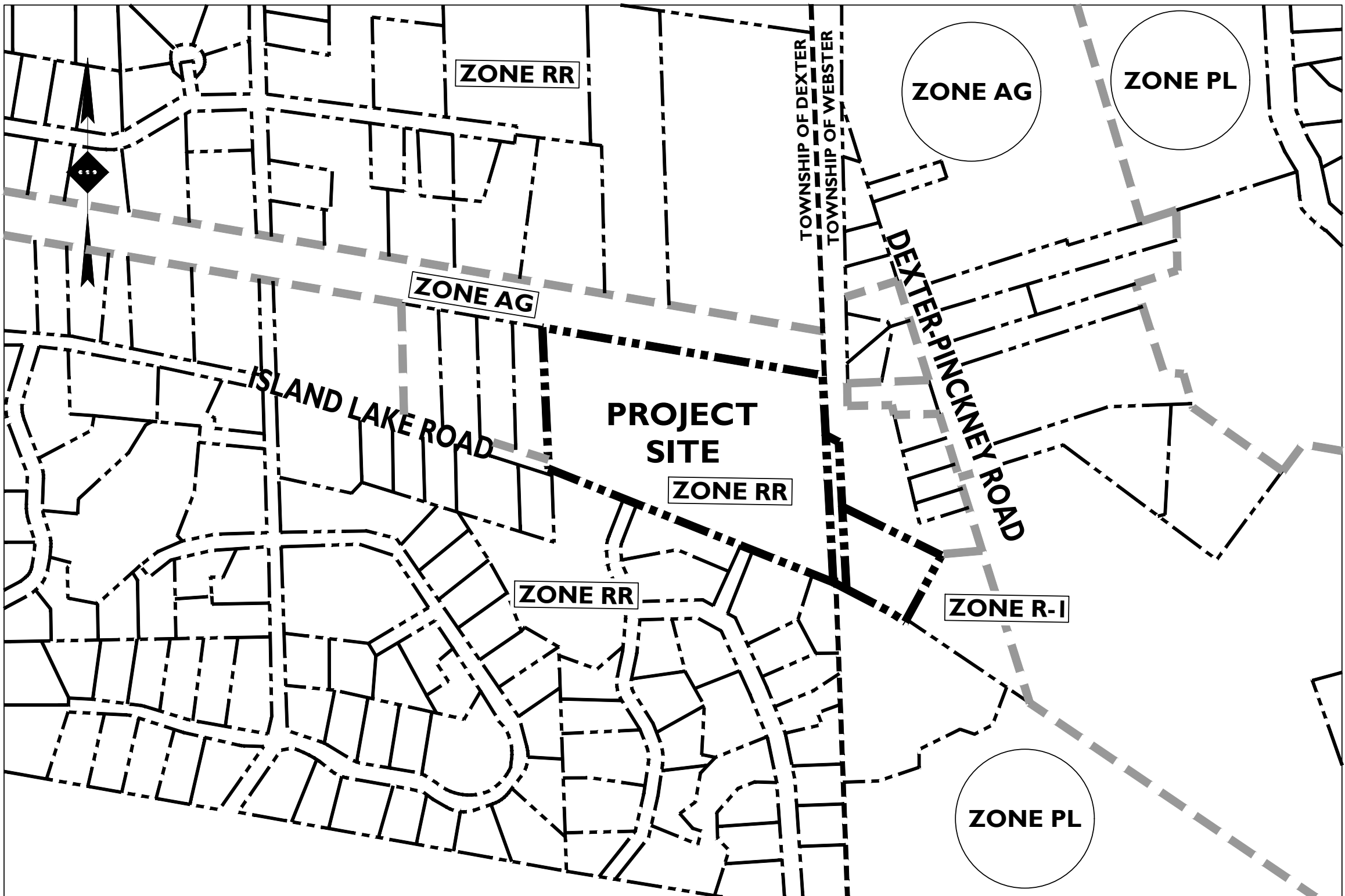
PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002  
8540 ISLAND LAKE ROAD, TOWNSHIPS OF DEXTER & WEBSTER  
WASHTENAW COUNTY, MICHIGAN 48130



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 500'±



SOURCE: TOWNSHIP OF DEXTER & TOWNSHIP OF WEBSTER ZONING MAP

ZONING MAP

SCALE: 1" = 500'±

PLANS PREPARED BY:



Detroit, MI · Rutherford, NJ · New York, NY  
Boston, MA · Princeton, NJ · Tampa, FL  
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226  
Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC & ASSOCIATES, DATED 01/18/2023
  - ARCHITECTURAL PLANS PREPARED BY SLOWTIDE STUDIO ARCHITECTS, DATED 10/26/2023
  - GEOTECHNICAL REPORT
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
  - LOCATION MAP OBTAINED FROM USGS ONLINE MAPS
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
OVERALL SITE PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
STORMWATER MANAGEMENT & UTILITY PLAN	C-6
LANDSCAPING PLAN	C-7
CONSTRUCTION DETAILS	C-8

ADDITIONAL SHEET INDEX

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	4 TO 4



Know what's **below**  
Call before you dig.

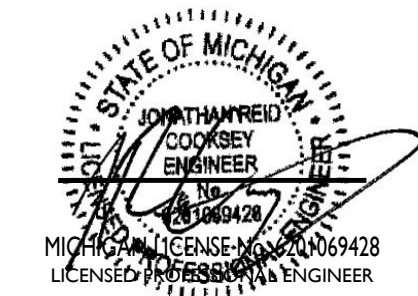
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SITE IMPROVEMENT PLANS  
CORNMAN FARMS  
PROPOSED BUILDING ADDITION

PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002  
8540 ISLAND LAKE ROAD  
TOWNSHIPS OF DEXTER & WEBSTER  
WASHTENAW COUNTY, MICHIGAN 48130



STONEFIELD  
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-220107

TITLE:

COVER SHEET

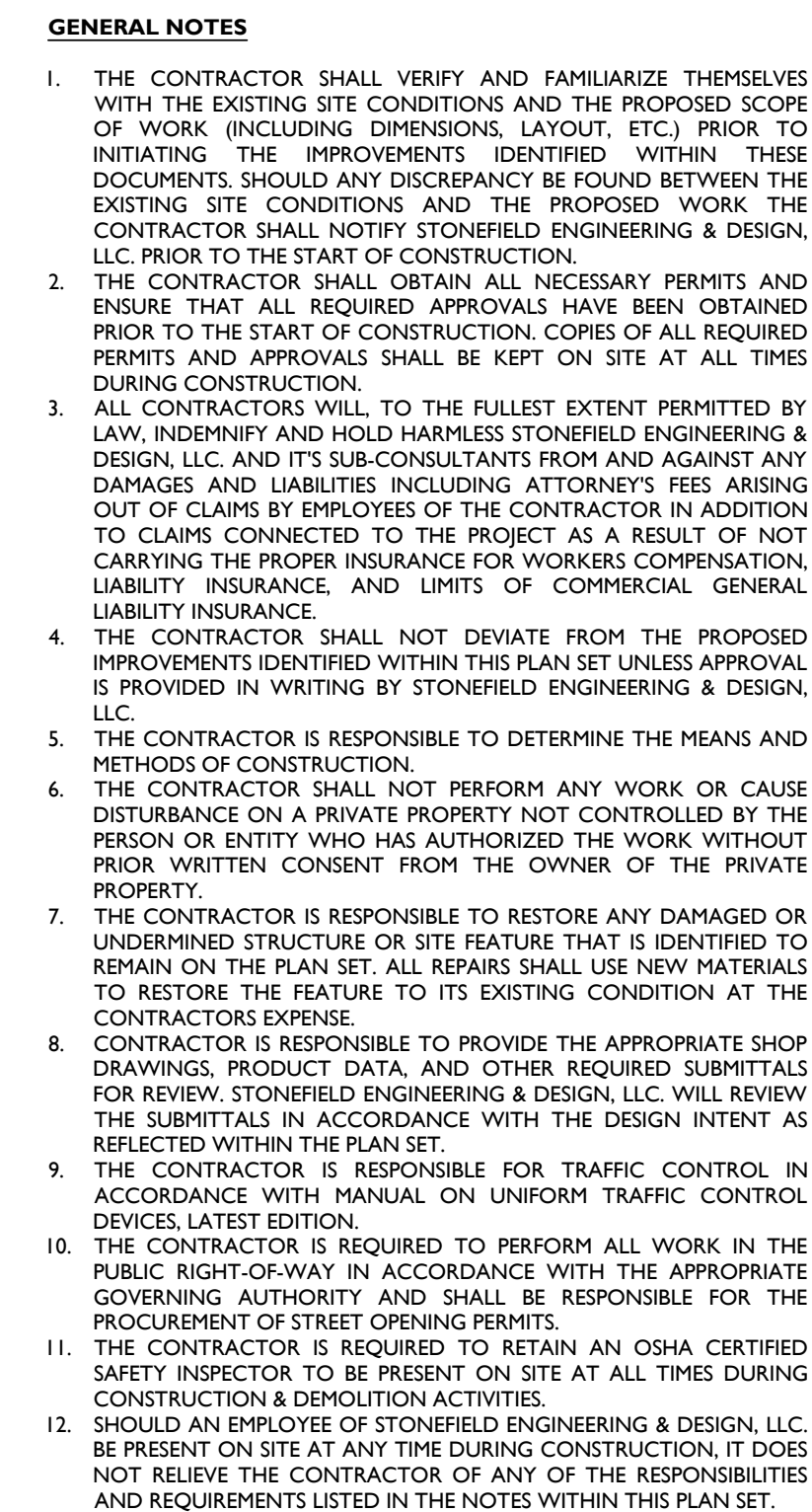
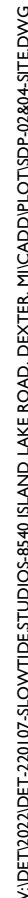
DRAWING:

C-1

V:\03\2022\DET-220107-SLOWTIDE-STUDIO-8540-ISLAND-LAKE-ROAD-DXTR-MICHIGAN-PROJECT\03-01.dwg

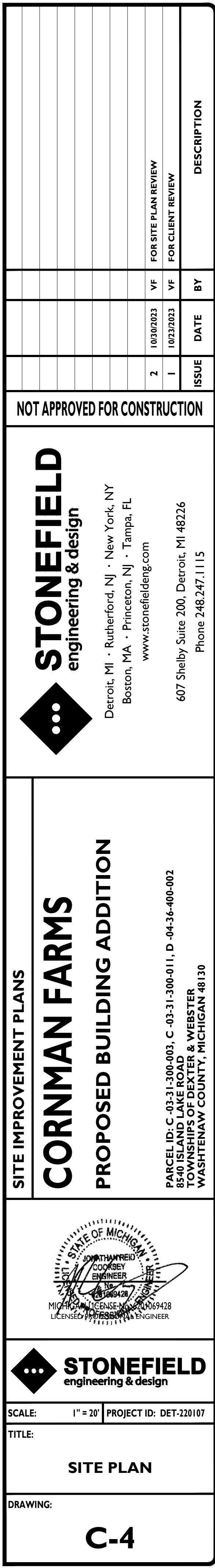






(V) (EN)	VARIANCE EXISTING NON-CONFORMITY
(1)	<u>§ 17.04.C.1: SPECIAL EVENT FACILITY REQUIREMENTS</u> - LOT AREA : 20 AC - LOT WIDTH : 400 FT - OUTDOOR DINING : 100 FT FROM ANY LOT LINE
(2)	§ 18.04.C.1: PARKING SPACES, QUEUING SPACES, AND MANEUVERING LINES SHALL MEET THE YARD REQUIREMENTS OF THE DISTRICT IT IS LOCATED IN.
(*)	SEE SHEET C-2 FOR CALCULATIONS

- ## GENERAL NOTES
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE NOTES. SHOULD THE CONTRACTOR IDENTIFY ANY UNEXPECTED EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  3. ALL CONTRACTORS WILL BE TO THE FULLEST EXTENT PERMITTED BY LAW TO BE RESPONSIBLE AND ACCOUNTABLE TO THE CITY OF STONEFIELD DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO THE CONTRACTOR'S OBLIGATION TO MAINTAIN AND CARRY THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO BE DAMAGED OR UNDERMINED BY THE PROPOSED WORK TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
  8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS NOTED WITHIN THE PLAN SET.
  9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION.
  10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND TO BE AVAILABLE FOR INSPECTION.
  12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT MEAN THAT THE CITY OF STONEFIELD IS PROVIDING ANY SERVICES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.






**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE COVERED WITH AN EROSION CONTROL MEASURE. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION TO MAINTAIN ALL EXISTING GRADES UNTO UTILITY TRENCHES. ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:

• CURB GUTTERS:	0.50%
• CONCRETE SURFACES:	1.00%
• ASPHALT SURFACES:	1.00%

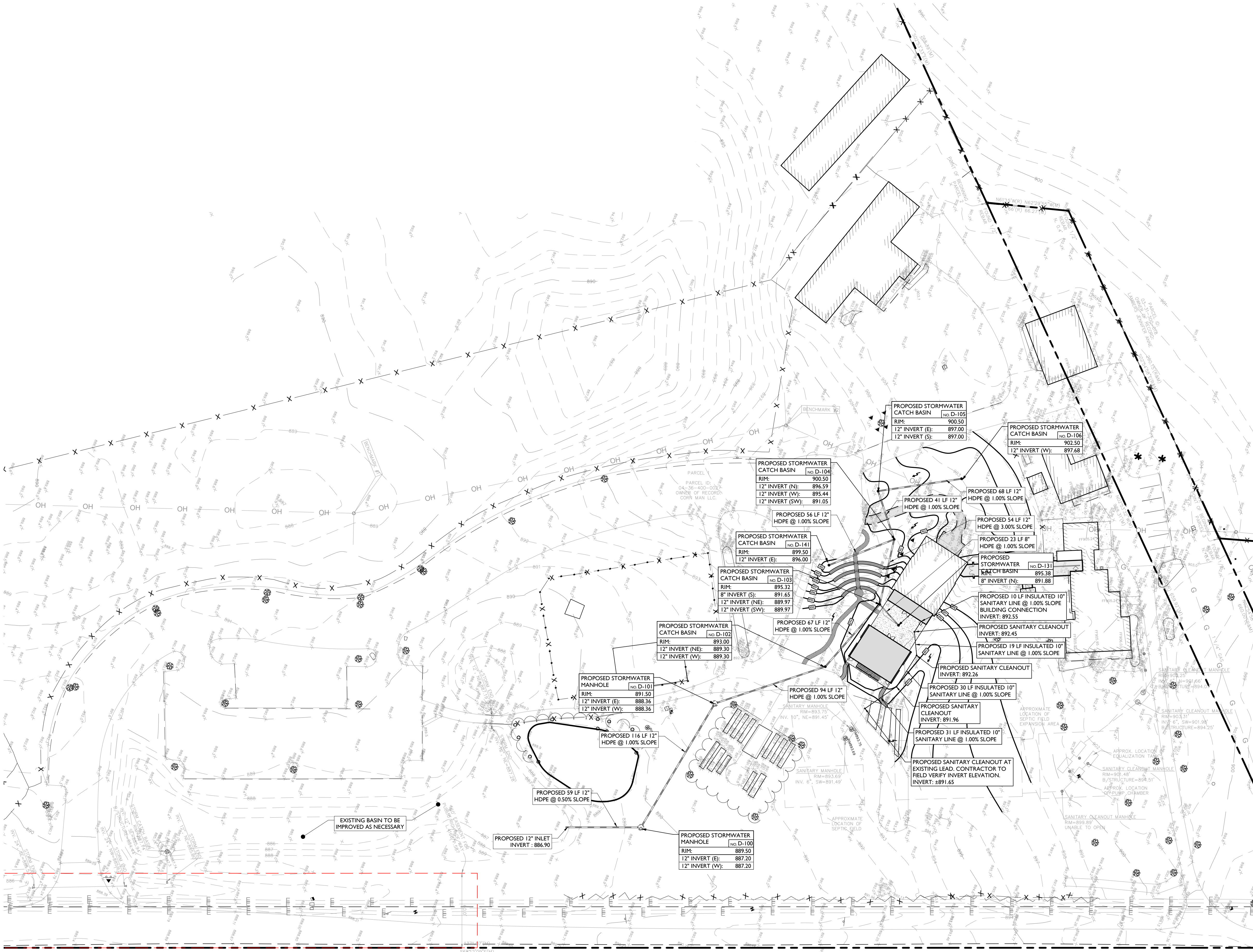
• A MINIMUM OF 0.50% SLOPE SHALL BE PROVIDED AROUND FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED, APPROVED METHODS SHALL BE UTILIZED AND CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED TO THE CITY OF STONEFIELD'S STORM SEWER SYSTEM FOR APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- 20' 0' 20' 40'
- 
- GRAPHIC SCALE IN FEET  
1" = 20'

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# PROPOSED BUILDING ADDITION





SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED SANITARY LATERAL
	PROPOSED SANITARY CLEANOUT
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

Drainage and Utility Notes

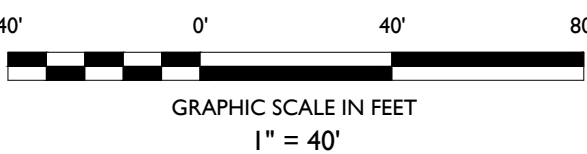
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

Excavation, Soil Preparation, and Dewatering Notes

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER. DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS. AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

Drainage and Utility Notes

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



RD  
IT OF WAY

ISLAND LAKE RD  
33' 1/2 WIDTH PUBLIC RIGHT OF WAY  
ASPHALT

\\V0170201722017-01\WORK\TEST\DWG\8540 ISLAND LAKE ROAD ADDITION\DWG\STW\UTIL.DWG

FOR SITE PLAN REVIEW

FOR CLIENT REVIEW

DATE

BY

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ISSUE

NOT APPROVED FOR CONSTRUCTION

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SITE IMPROVEMENT PLANS

**CORNMAN FARMS**

PROPOSED BUILDING ADDITION

**STONEFIELD**  
engineering & design

SCALE: 1" = 40'

PROJECT ID: DET-220107

TITLE:

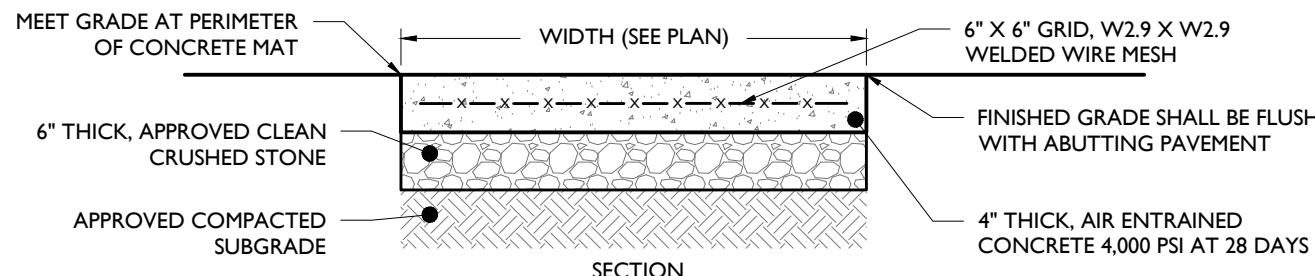
**STORMWATER  
MANAGEMENT &  
UTILITY PLAN**

DRAWING:

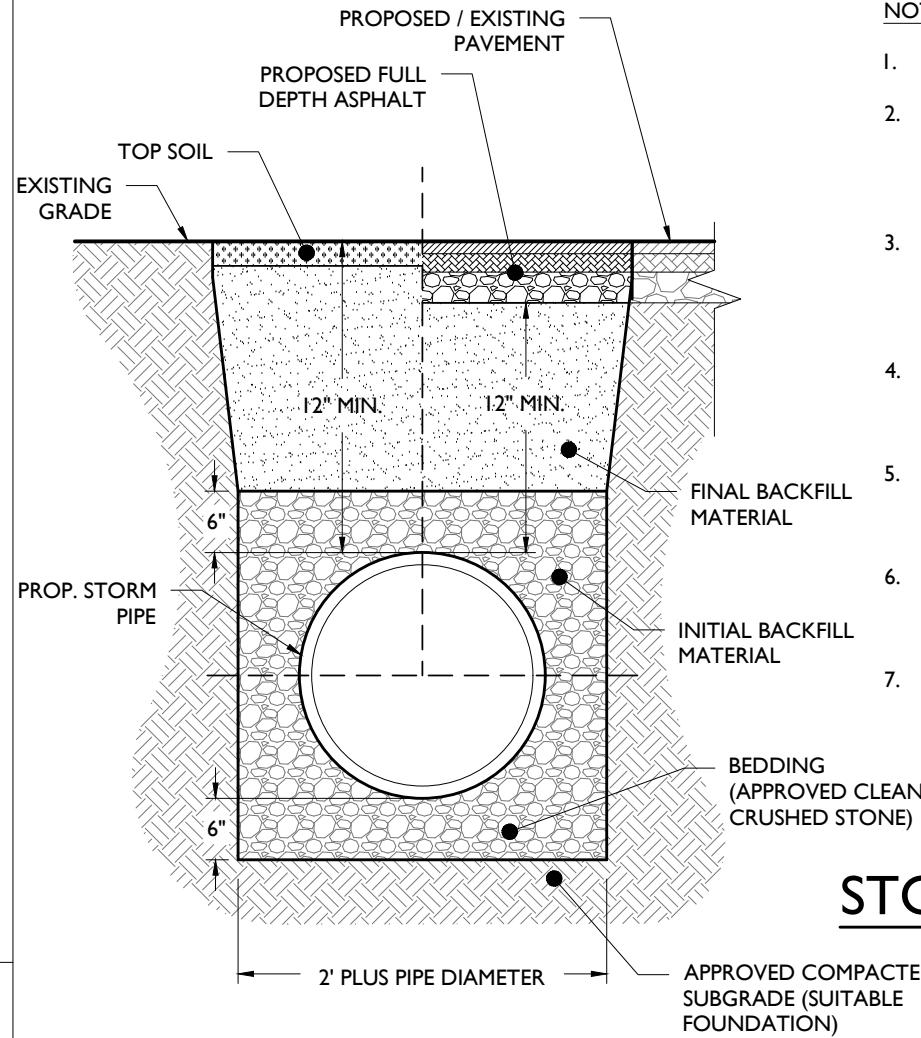
**C-6**



V:\072102\DET-220107-ISO\072102-ISO-05-848 ISLAND LAKE ROAD - DDTKTR - RHC\072102\ISO-05-848-ISO-01.DWG



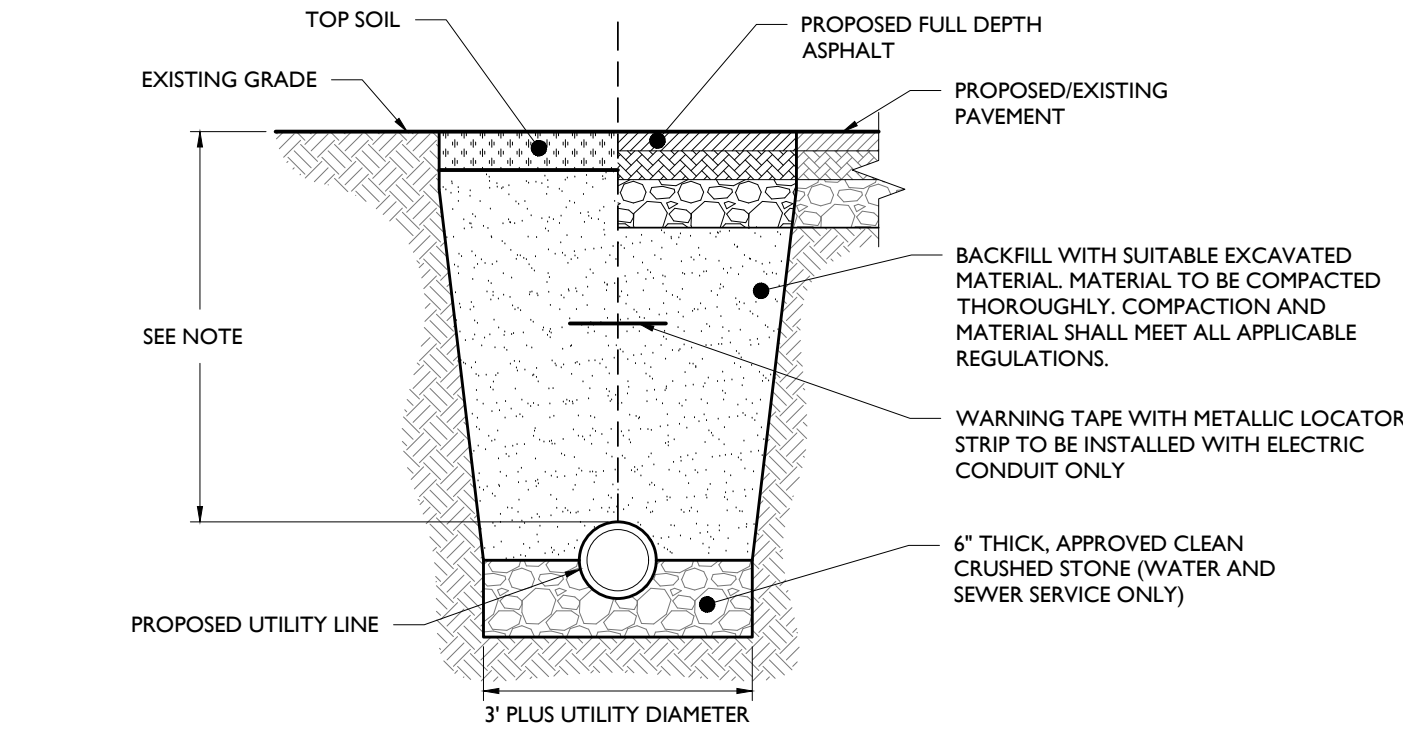
- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
  2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
  3. CONCRETE SHALL RECEIVE BROOM FINISH.
  4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



- NOTES:
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
  3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
  4. FOR NON-HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
  6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
  7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

### STORM TRENCH DETAIL

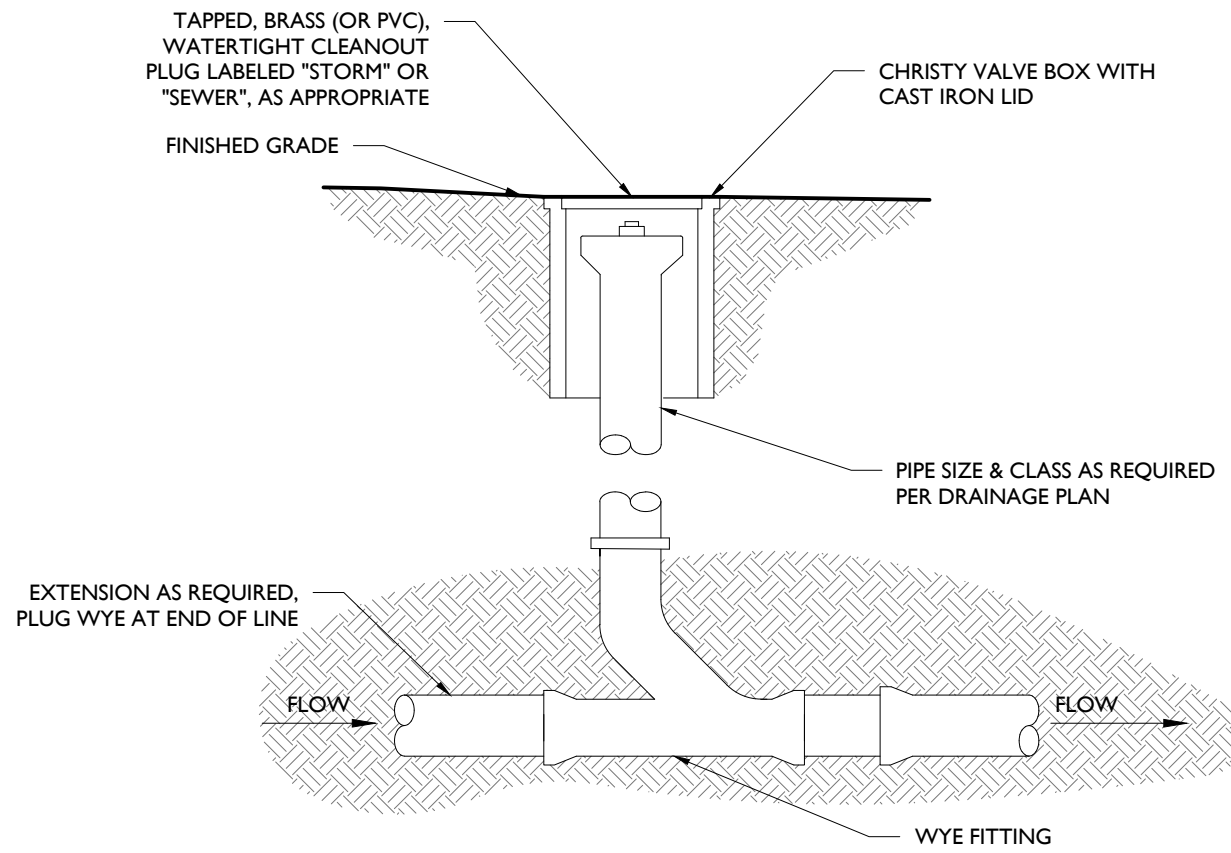
NOT TO SCALE



- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
  - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
  - SEWER SERVICE - 36" MINIMUM
  - WATER SERVICE - 48" MINIMUM

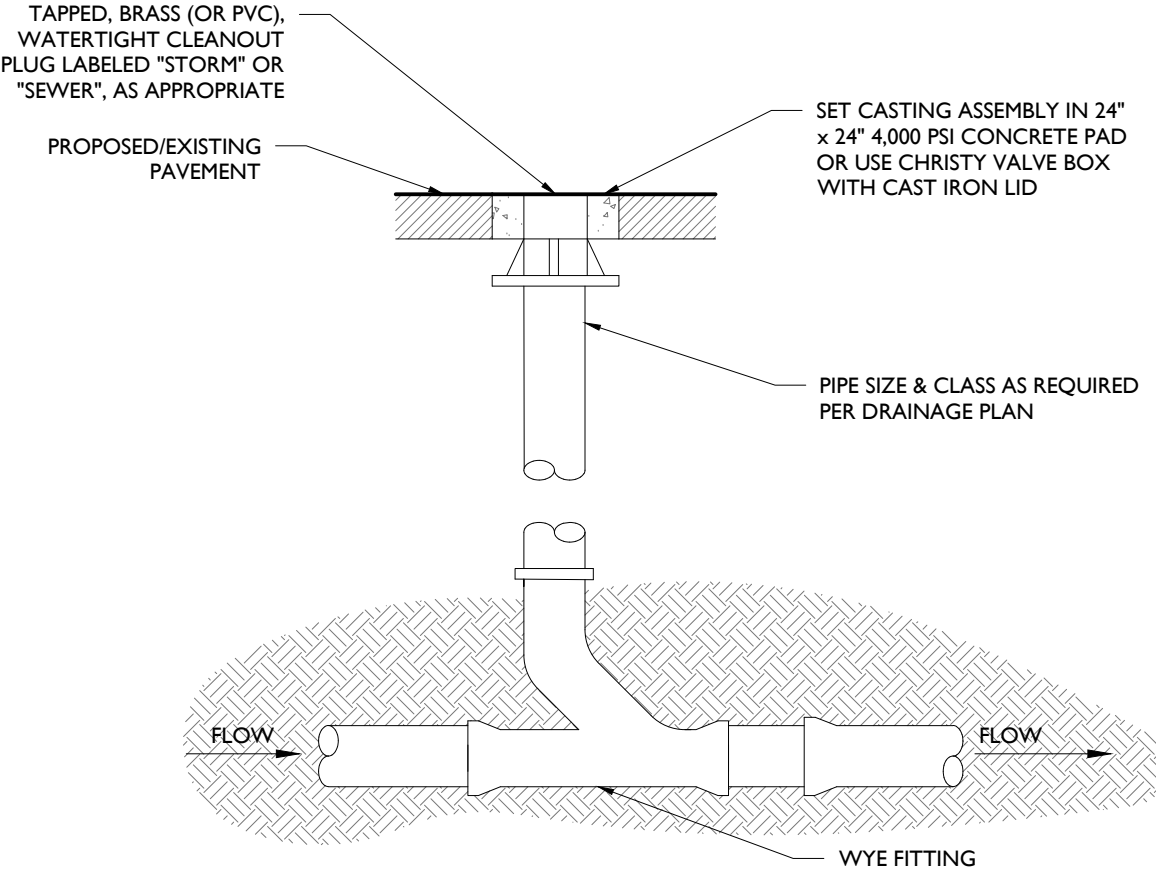
### UTILITY TRENCH DETAIL

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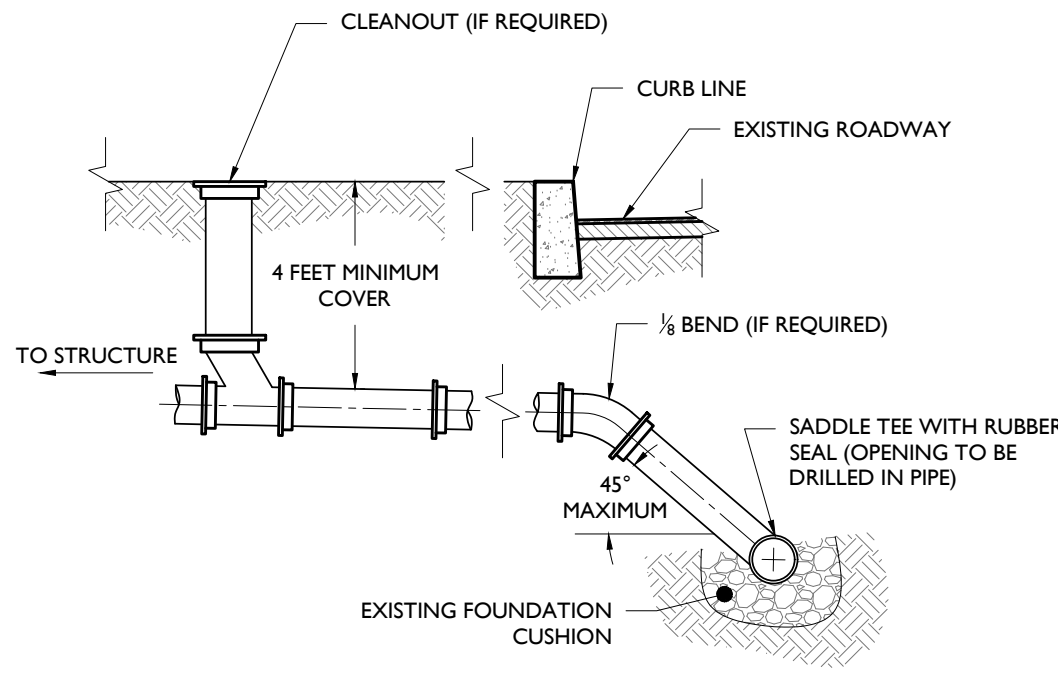
### SOFTSCAPE CLEAN-OUT

NOT TO SCALE



### HARDSCAPE CLEAN-OUT

NOT TO SCALE



### SEWER CONNECTION DETAIL

NOT TO SCALE

NOT APPROVED FOR CONSTRUCTION



Detroit, MI • Rutherford, NJ • New York, NY  
Boston, MA • Princeton, NJ • Tampa, FL

www.stonefielddeng.com

607 Shelby Suite 200, Detroit, MI 48226

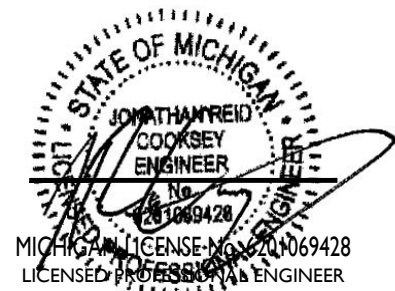
Phone 248.247.1115

## SITE IMPROVEMENT PLANS

# CORNMAN FARMS

## PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002  
8540 ISLAND LAKE ROAD  
TOWNSHIPS OF DEXTER & WEBSTER  
WASHTENAW COUNTY, MICHIGAN 48130



SCALE: NTS PROJECT ID: DET-220107

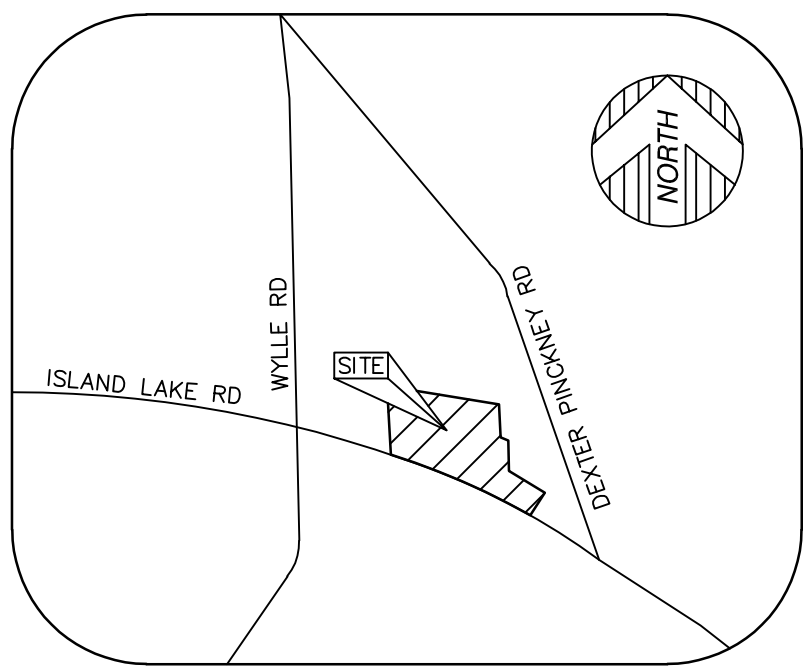
TITLE:

CONSTRUCTION  
DETAILS

DRAWING:

C-8

ISSUE	DATE	BY	DESCRIPTION
2	10/30/2023	VF	FOR SITE PLAN REVIEW
1	10/31/2023	VF	FOR CLIENT REVIEW



VICINITY MAP  
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 0 STALLS  
STANDARD PARKING = 7 STALLS  
PARKING BLOCKS = 122  
HANDICAP PARKING BLOCKS = 4

PARCEL AREA

PARCEL 1:  
972,527± SQUARE FEET = 22.32± ACRES  
PARCEL 2:  
37,808± SQUARE FEET = 0.86± ACRES  
PARCEL 3:  
129,977± SQUARE FEET = 2.98± ACRES

BASIS OF BEARING

SOUTH 02°53'33" EAST, BEING THE EAST LINE OF SECTION 36, PER ATWELL SURVEY, DATED 6/20/12, JOB #12000960.

BENCHMARK

BENCHMARK #1  
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±300 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. NORTH OF WESTERLY PARKING AREA. ELEVATION = 889.49' (NAVD 88)

BENCHMARK #2  
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±350 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. ±80 FEET SOUTHWEST NORTH MOST BARN. ELEVATION = 898.97' (NAVD 88)

BENCHMARK #3  
MAG NAIL SET IN NORTH SIDE OF UTILITY POLE, ±30 FEET WEST OF THE NORTHWEST CORNER OF THE CLUBHOUSE. ±275 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. ELEVATION = 905.03' (NAVD 88)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

PROPERTY DESCRIPTION

THE LAND SITUATED IN THE TOWNSHIP OF WEBSTER, COUNTY OF WASHTENAW, MICHIGAN, DESCRIBED AS:

PARCEL 1:  
COMMENCING AT THE EAST 1/4 POST OF SECTION 36, T1S, R4E, THENCE SOUTH IN THE EAST LINE OF SECTION 20S.15 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 77°08'15" WEST 1274.6 FEET; THENCE SOUTH 0°37'30" WEST 633.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF ISLAND LAKE ROAD TO THE EAST SECTION LINE; THENCE NORTH ALONG SAID EAST SECTION LINE TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 36, T1S, R4E, DEXTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 2:  
COMMENCING AT THE WEST 1/4 POST OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 17.05 CHAINS IN THE WEST LINE OF SAID SECTION FOR A PLACE OF BEGINNING; THENCE SOUTH 61°15' EAST 4 RODS; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE SECTION 40 RODS; THENCE NORTH 61°15' WEST 4 RODS; THENCE SOUTH 40 RODS IN THE WEST LINE OF THE SECTION OF THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

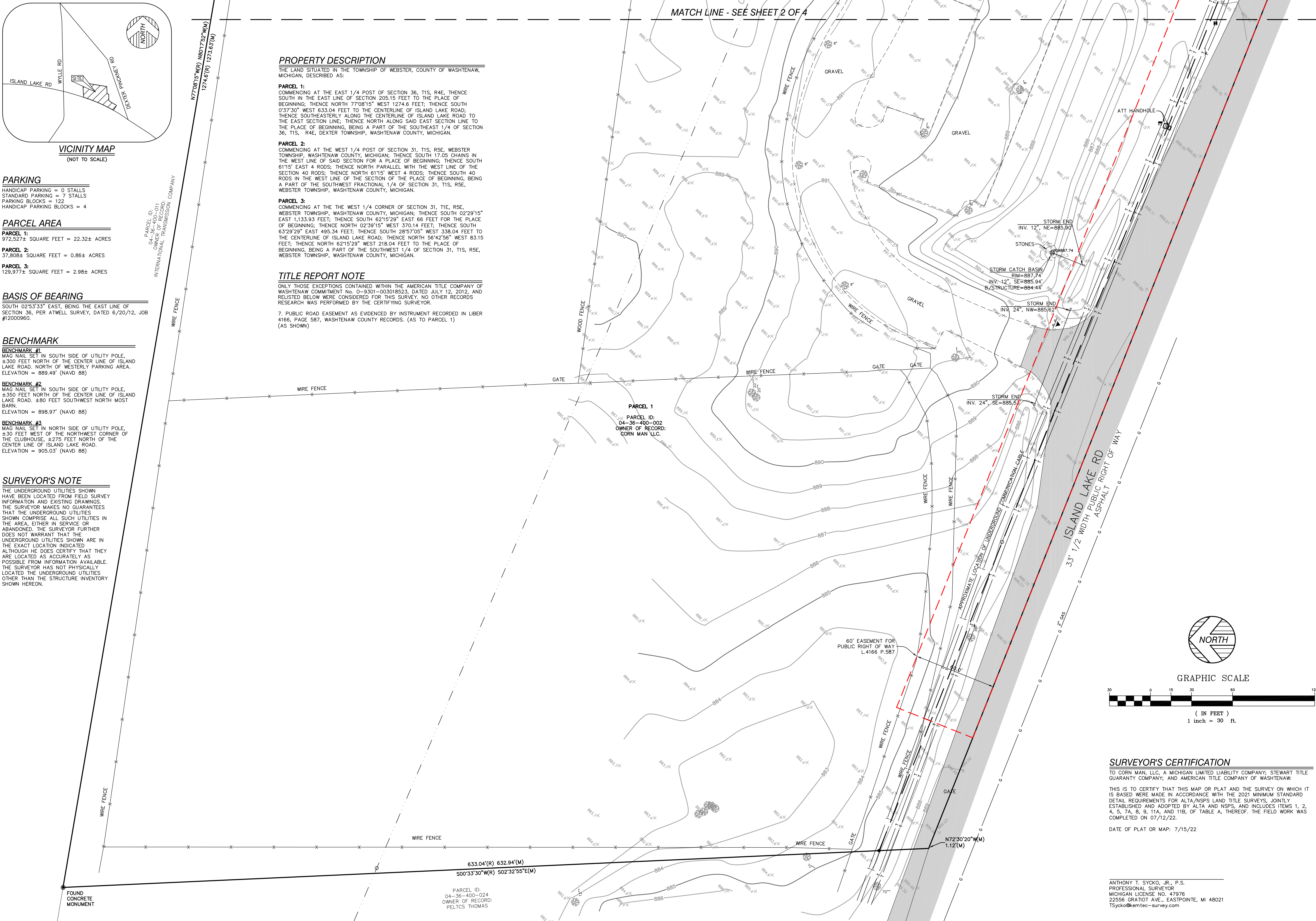
PARCEL 3:  
COMMENCING AT THE THE WEST 1/4 CORNER OF SECTION 31, T1E, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 02°29'15" EAST 1,133.93 FEET; THENCE SOUTH 62°15'29" EAST 66 FEET FOR THE PLACE OF BEGINNING; THENCE NORTH 02°39'15" WEST 370.14 FEET; THENCE SOUTH 63°29'29" EAST 495.34 FEET; THENCE SOUTH 28°57'05" WEST 338.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE NORTH 56°42'56" WEST 83.15 FEET; THENCE NORTH 62°15'29" WEST 218.04 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE AMERICAN TITLE COMPANY OF WASHTENAW COMMITMENT No. 0-9301-003018523, DATED JULY 12, 2012, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

7. PUBLIC ROAD EASEMENT AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4166, PAGE 587, WASHTENAW COUNTY RECORDS. (AS TO PARCEL 1) (AS SHOWN)

MATCH LINE - SEE SHEET 2 OF 4



GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

SURVEYOR'S CERTIFICATION

TO CORN MAN, LLC, A MICHIGAN LIMITED LIABILITY COMPANY; STEWART TITLE GUARANTY COMPANY; AND AMERICAN TITLE COMPANY OF WASHTENAW:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 5, 7A, 8, 9, 11A, AND 11B, OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 07/12/22.

DATE OF PLAT OR MAP: 7/15/22

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemttec-survey.com

ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN  
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,  
PART OF SECTION 36 & 31,  
TOWN 1 SOUTH, RANGE 4 EAST

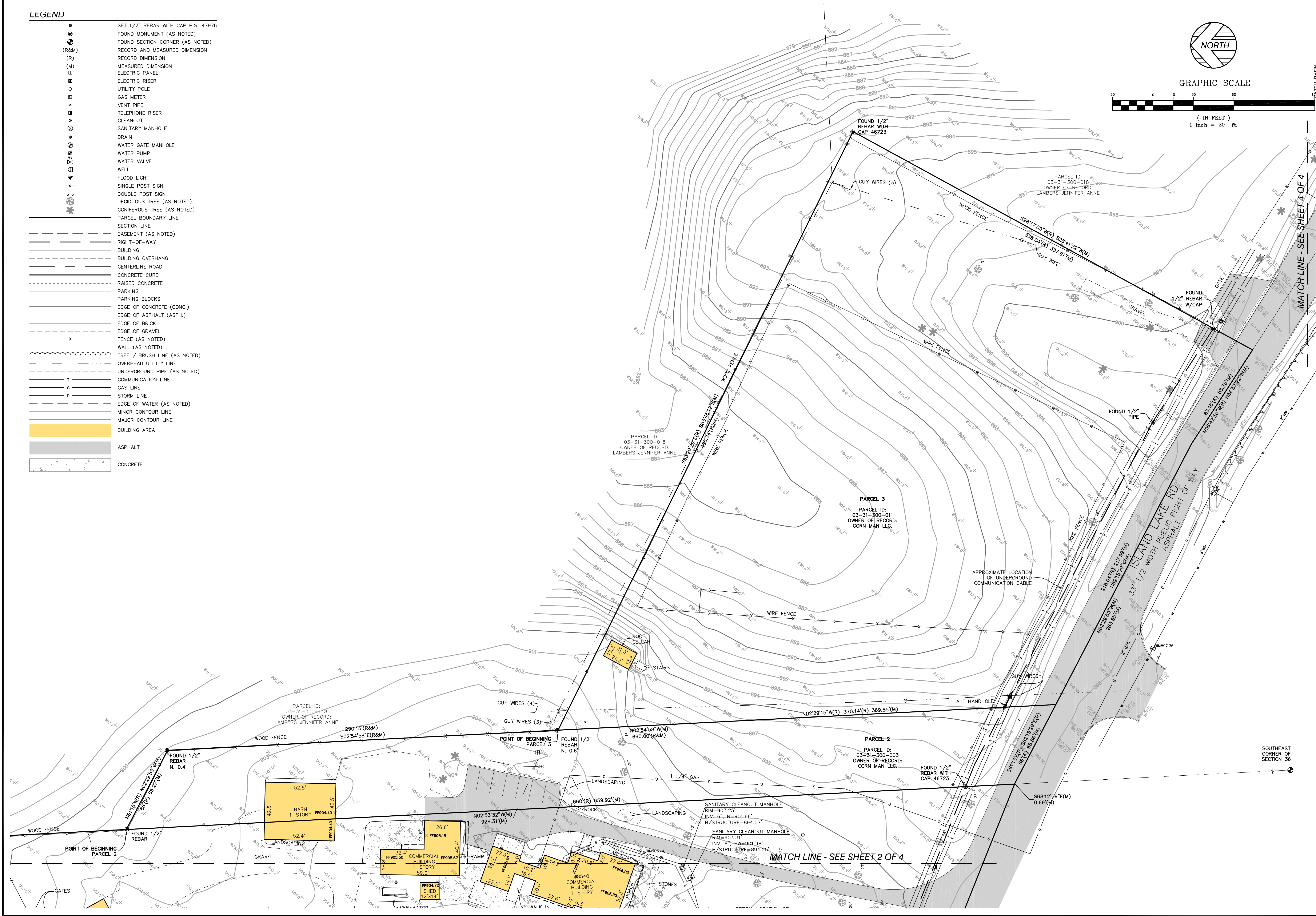
REVISION	DATE	BY	DESCRIPTION
1	07/13/22	MRJ	ADDITIONAL TOPO
2	07/23/23	MRJ	ADDITIONAL UTILITY INFO
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS

PROJECT NO.	22-01590
DATE	JULY 15, 2022
CHECKED BY	ATS
DRAWN BY	DAH
DATE	07/15/22
07/14/22	



LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ELECTRIC PANEL
- ELECTRIC RISER
- UTILITY POLE
- GAS METER
- VENT PIPE
- TELEPHONE RISER
- CLEANOUT
- SANITARY MANHOLE
- DRAIN
- WATER GATE MANHOLE
- WATER PUMP
- WATER VALVE
- WELL
- FLOOD LIGHT
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- PARKING BLOCKS
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- TREE / BRUSH LINE (AS NOTED)
- OVERHEAD UTILITY LINE
- UNDERGROUND PIPE (AS NOTED)
- COMMUNICATION LINE
- GAS LINE
- D STORM LINE
- EDGE OF WATER (AS NOTED)
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE

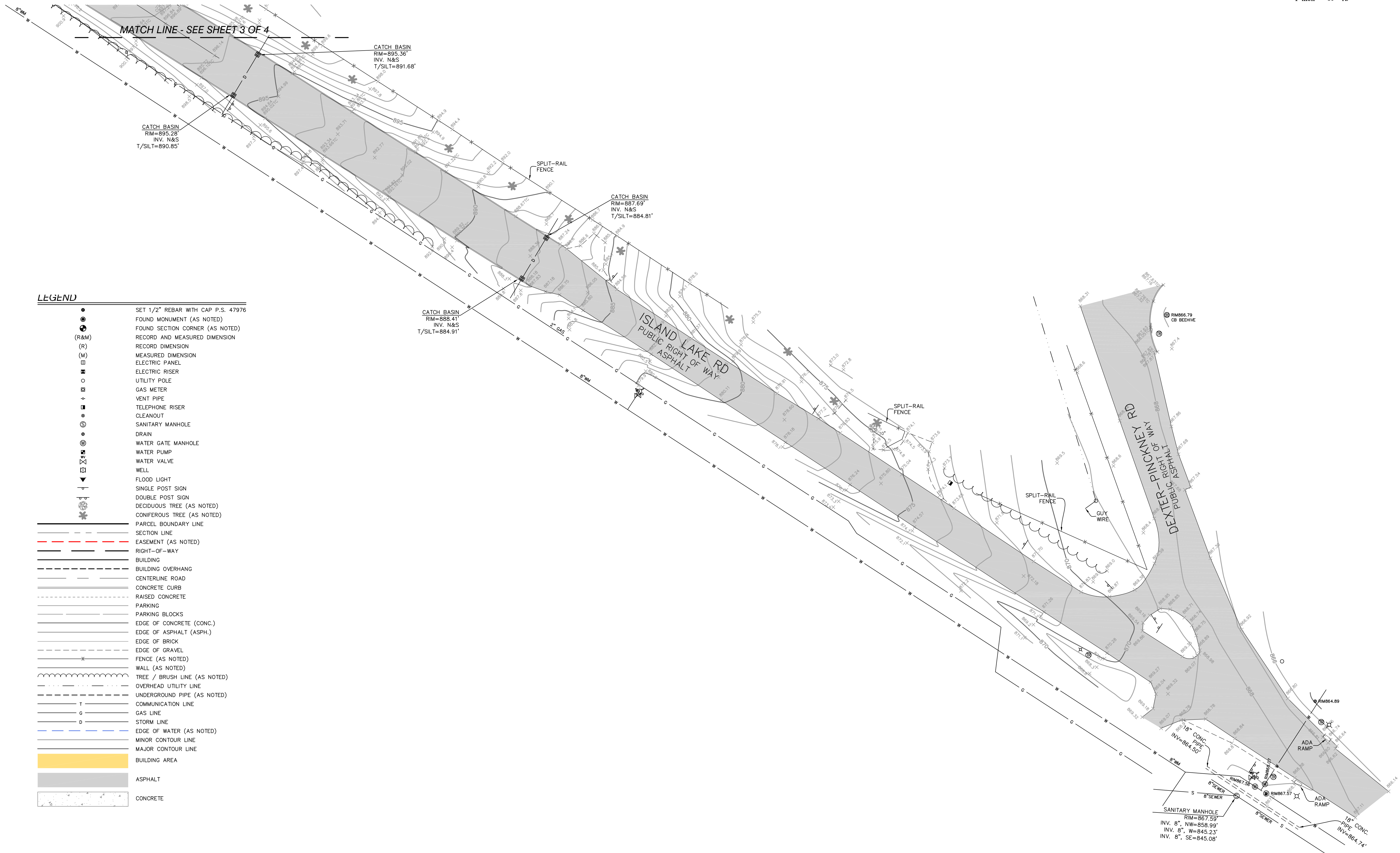


( IN FEET )  
1 inch = 30 ft.

REVISION	DATE	BY	DESCRIPTION
1	07/13/22	MRJ	ADDITIONAL UTILITY INFO
2	07/23/23	MRJ	ADDITIONAL UTILITY INFO
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS

DATE	07/14/22	DAT
CHECKED BY	ATS	
PROJECT NO.	22-01590	SCALE 1" = 30'

3  
3 OF 4 SHEETS



●	SET 1/2" REBAR WITH CAP P.S. 47976
●	FOUND MONUMENT (AS NOTED)
●	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
II	ELECTRIC PANEL
⊠	ELECTRIC RISER
○	UTILITY POLE
⊠	GAS METER
∩	VENT PIPE
II	TELEPHONE RISER
⊠	CLEANOUT
⊙	SANITARY MANHOLE
●	DRAIN
⊙	WATER GATE MANHOLE
⊠	WATER PUMP
WV	WATER VALVE
U	WELL
▼	FLOOD LIGHT
○	SINGLE POST SIGN
○	DOUBLE POST SIGN
●	DECIDUOUS TREE (AS NOTED)
●	CONIFEROUS TREE (AS NOTED)

ASPHALT

CONCRETE

ALTA / NSPS LAND TITLE SURVEY  
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN  
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,  
PART OF SECTION 36 & 31,  
TOWN 1 SOUTH, RANGE 4 EAST

DATE		07/14/22	
CHECKED BY:		ATS	
DATE:		JULY 15, 2022	
PROJECT NO.		22-01590	
SCALE		1" = 30'	
REVISION	DATE	BY	DESCRIPTION
1	07/13/22	MRJ	ADDITIONAL TOPO
2	07/23/23	MRJ	ADDITIONAL UTILITY INFO
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS



AREA  
BELOW  
GRADE



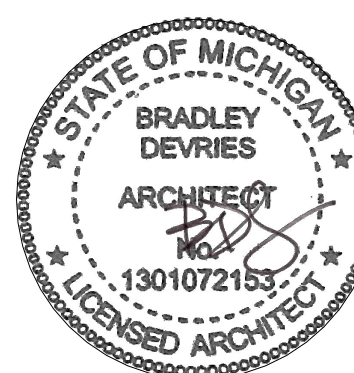
FLOOR PLAN - LOWER LEVEL 4  
3/32" = 1'-0"

GENERAL NOTES - FLOOR PLAN (LL & FF)	1
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A		TYPICAL EXTERIOR WALL	CONVENTIONAL STUD FRAMING W/ EXTERIOR SIDING (PER ELEVATIONS) AND INTERIOR FINISHING, INSULATED PER CODE.
B		STOREFRONT SYSTEM	4 1/2" X 2" BLACK ANODIZED OR DARK BRONZE ANODIZED TUBELITE 014000 SYSTEM (OR APPROVED ALTERNATE) STOREFRONT FRAME WITH CENTER-SET 1" GLAZING
C		FIREWALL	8" CMU WALL, FULLY GROUTED [4 HOUR ASSEMBLY] W/ STONE VENEER TO MATCH (E) RED BARN & (E) SMOKER
D		TYPICAL INTERIOR PARTITION	CONVENTIONAL WOOD FRAMING W/ GYPSUM WALLBOARD ON EXPOSED SIDES.
E		PREFABRICATED EXTERIOR WALL SYSTEM	SUPPLIED BY ECOSTEEL OR SIMILAR, W/ INTEGRAL METAL SIDING SYSTEM IN BLACK OR DARK BRONZE, INSULATED PER CODE
F		FOUNDATION	12" CAST-IN-PLACE CONCRETE FOUNDATION WALL

SCHEDULE - WALL  
1/4" = 1'-0"

1. DO NOT SCALE FROM DRAWINGS. ARCHITECT TO PROVIDE ADDITIONAL DIMENSIONS AS REQUESTED.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IF DISCREPANCIES EXIST, CONSULT ARCHITECT.
3. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL.
4. ALL DRYWALL TO BE 5/8", UNLESS OTHERWISE NOTED, AND IS TO BE GLUED AND SCREWED AT ALL LOCATIONS.
5. PROVIDE SOLID, FIRE-RATED, WOOD BLOCKING AT ALL LOCATIONS FOR WALL-MOUNTED ITEMS.
6. INCLUDE CUTTING, CORING, REMOVAL, REINFORCEMENT, AND REPLACEMENT AS REQUIRED OF CONCRETE FLOOR, WOOD-JOIST SYSTEMS, MASONRY WALLS, AND OTHER (E) BUILDING ASSEMBLIES TO ACCOMMODATE ALTERATION PLANS.
7. ANY EXPOSED CONDUIT, DUCTWORK, OR PLUMBING TO BE AS MINIMAL AS POSSIBLE. LAYOUT TO BE COORDINATED WITH AND APPROVED BY ARCHITECT.
8. ALL MECHANICAL TERMINATIONS TO BE ALIGNED WITH LIGHT FIXTURES. IF CONFLICT IS PRESENT, THE LOCATION OF THE LIGHT FIXTURE TO TAKE PRECEDENCE.
9. FRAMING LAYOUT TO BE COORDINATED TO ACCOMMODATE CEILING LAYOUT, ESPECIALLY AS IT RELATES TO RECESSED FIXTURES, EXHAUST FAN HOUSING, AND OTHER COMPONENTS MOUNTED IN THE DEPTH OF THE FRAMING.
10. AS LINES, LINE SETS, AND OTHER INFRASTRUCTURE TO BE RUN EFFICIENTLY AND CONCENTRATED IN PARALLEL WHENEVER POSSIBLE.
11. SCOPE TO INCLUDE ALL NECESSARY DEMO, BEYOND WHAT IS SHOWN, TO ACCOMMODATE THE ALTERATION PLANS.
12. ALL GRADING SHOWN ON ARCHITECTURAL SHEETS IS EXISTING AND SPECULATIVE AND IS SHOWN ONLY AS GUIDANCE. FOR ALL PROPOSED GRADING AND DRAINAGE, REFER TO CIVIL SHEETS.



PROJECT ISSUE DATE:  
10 - 31 - 2023

SLOWTIDE.STUDIO,  
ARCHITECTS

8640 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

FLOOR PLAN - LOWER LEVEL

## SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

CORNMAN FARMS

SLOWTIDE STUDIO,  
ARCHITECTS

1145 W LONG LAKE ROAD - SUITE 110  
BLOOMFIELD HILLS - MICHIGAN - 48302

HELLO @ SLOWTIDE.STUDIO & 248.891.2737

A-  
1.00

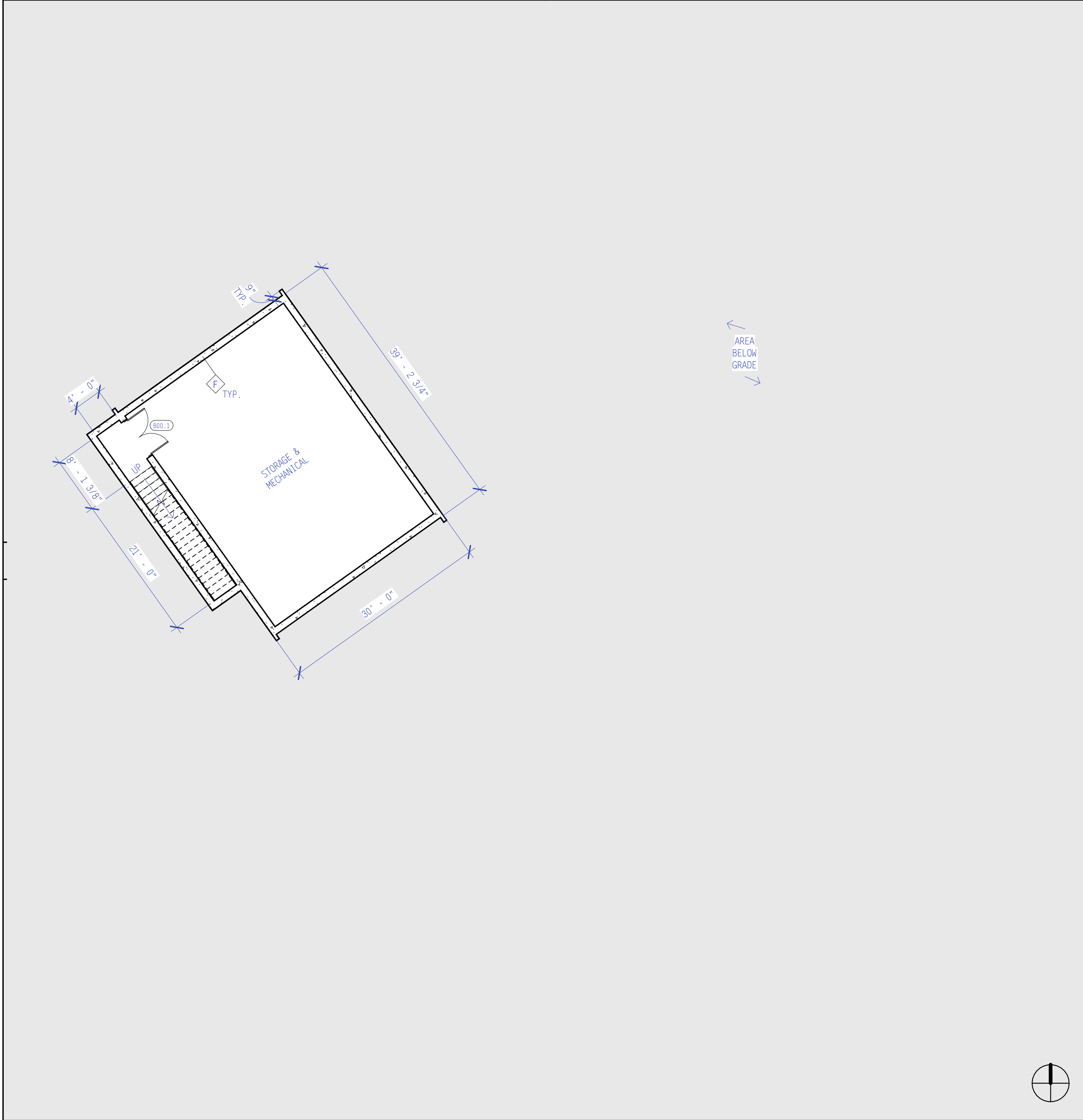


			<div>1. DO NOT SCALE FROM DRAWINGS. ARCHITECT TO PROVIDE ADDITIONAL DIMENSIONS AS REQUESTED.</div> <div>2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IF DISCREPANCIES EXIST, CONSULT ARCHITECT.</div> <div>3. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL.</div> <div>4. ALL DRYWALL TO BE 5/8", UNLESS OTHERWISE NOTED, AND IS TO BE GLUED AND SCREWED AT ALL LOCATIONS.</div> <div>5. PROVIDE SOLID, FIRE-RATED, WOOD BLOCKING AT ALL LOCATIONS FOR WALL-MOUNTED ITEMS.</div> <div>6. INCLUDE CUTTING, CORING, REMOVAL, REINFORCEMENT, AND REPLACEMENT AS REQUIRED OF CONCRETE FLOOR, WOOD-JOIST SYSTEMS, MASONRY WALLS, AND OTHER (E) BUILDING ASSEMBLIES TO ACCOMMODATE ALTERATION PLANS.</div> <div>7. ANY EXPOSED CONDUIT, DUCTWORK, OR PLUMBING TO BE AS MINIMAL AS POSSIBLE; LAYOUT TO BE COORDINATED WITH AND APPROVED BY ARCHITECT.</div> <div>8. ALL MECHANICAL TERMINATIONS TO BE ALIGNED WITH LIGHT FIXTURES. IF CONFLICT IS PRESENT, THE LOCATION OF THE LIGHT FIXTURE TO TAKE PRECEDENCE.</div> <div>9. FRAMING LAYOUT TO BE COORDINATED TO ACCOMMODATE CEILING LAYOUT, ESPECIALLY AS IT RELATES TO RECESSED FIXTURES, EXHAUST FAN HOUSING, AND OTHER COMPONENTS MOUNTED IN THE DEPTH OF THE FRAMING.</div> <div>10. AS LINES, LINE SETS, AND OTHER INFRASTRUCTURE TO BE RUN EFFICIENTLY AND CONCENTRATED IN PARALLEL WHENEVER POSSIBLE.</div> <div>11. SCOPE TO INCLUDE ALL NECESSARY DEMO, BEYOND WHAT IS SHOWN, TO ACCOMMODATE THE ALTERATION PLANS.</div> <div>12. ALL GRADING SHOWN ON ARCHITECTURAL SHEETS IS EXISTING AND SPECULATIVE AND IS SHOWN ONLY AS GUIDEANCE. FOR ALL PROPOSED GRADING AND DRAINAGE, REFER TO CIVIL SHEETS.</div>
			GENERAL NOTES - FLOOR PLAN (B & SF)

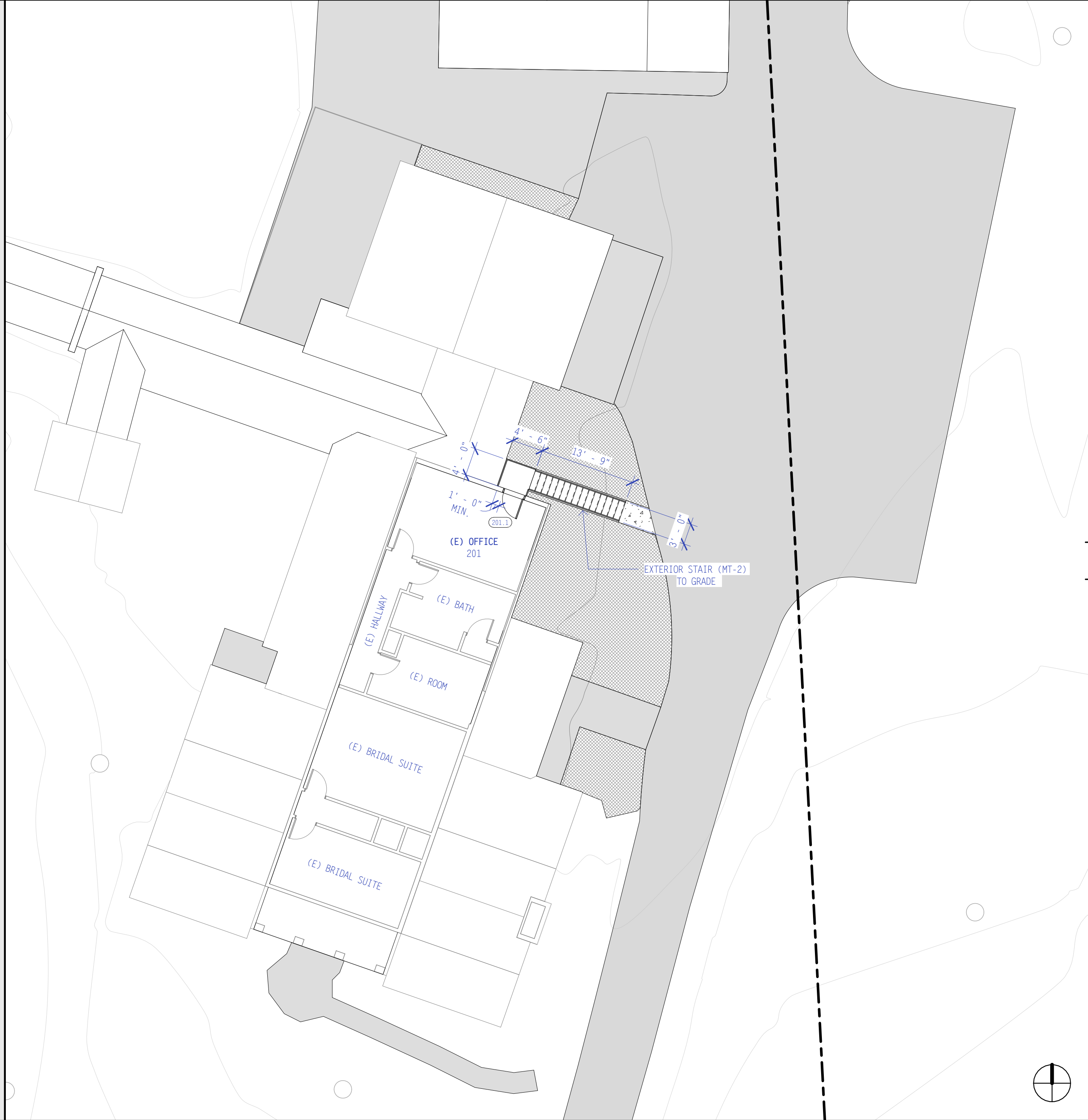
SLOW  
TIDE

SLOWTIDE.STUDIO,  
ARCHITECTS

1145 W LONG LAKE ROAD - SUITE 110  
BLOOMFIELD HILLS - MICHIGAN - 48302  
HELLO @ SLOWTIDE.STUDIO & 248.891.2737



FLOOR PLAN - BASEMENT 7  
3/32" = 1'-0"



FLOOR PLAN - SECOND FLOOR 1  
3/32" = 1'-0"

CORNMAN FARMS

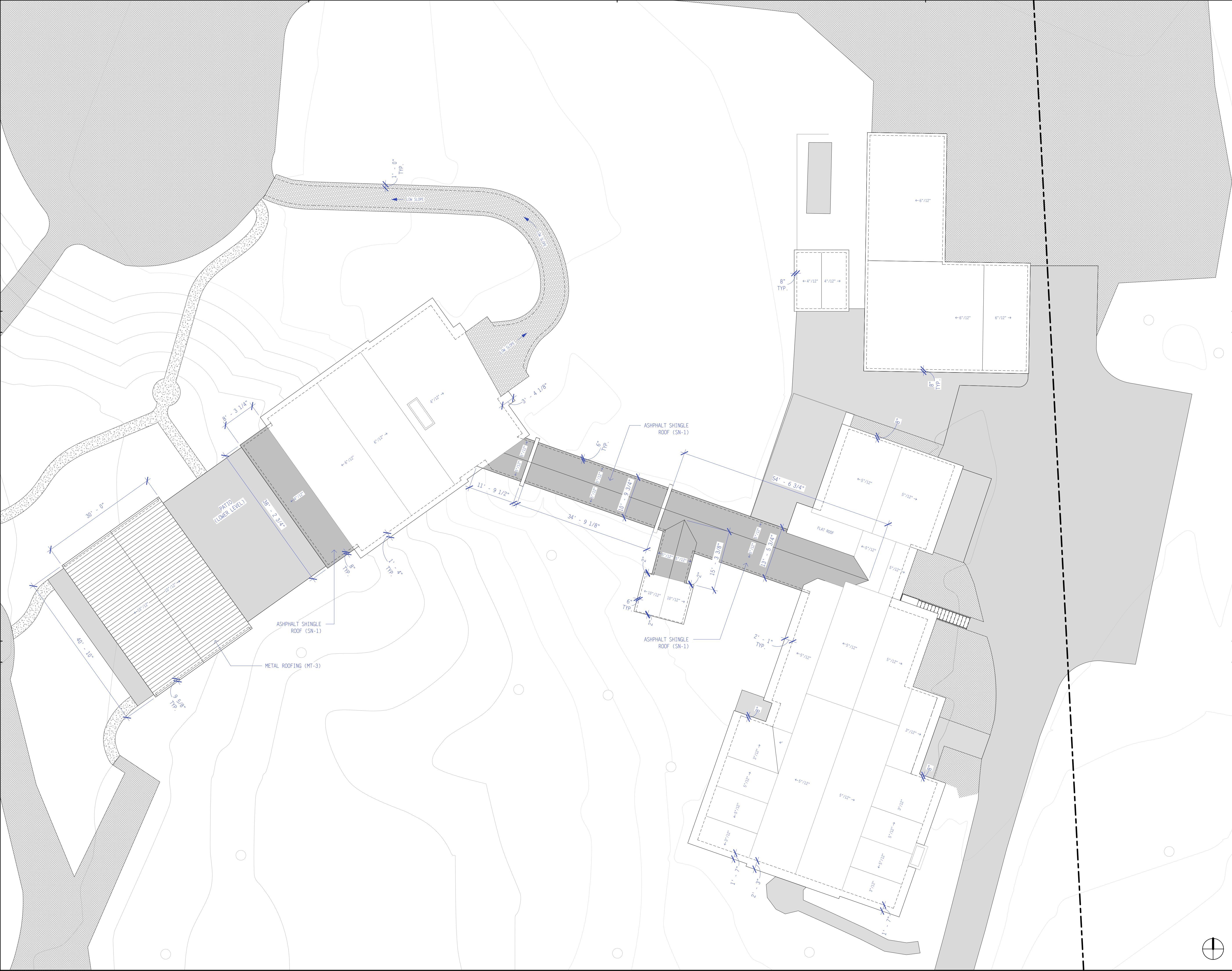
FLOOR PLAN - SECOND FLOOR &  
BASEMENT

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130  
SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS

STATE OF MICHIGAN  
BRADLEY DEVRIES  
ARCHITECT  
No. 1301072153  
LICENSED ARCHITECT

PROJECT ISSUE DATE:  
10 - 31 - 2023

A-  
1.02



SLOWTIDE.STUDIO,  
ARCHITECTS

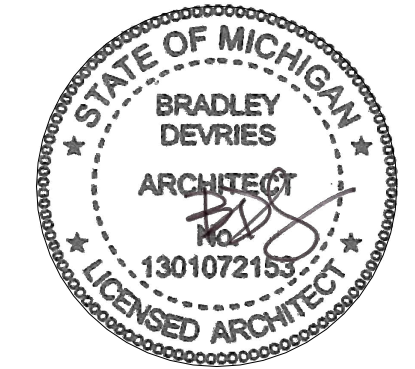
1145 W LONG LAKE ROAD - SUITE 110  
BLOOMFIELD HILLS - MICHIGAN - 48302  
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

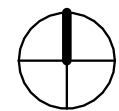
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN 48130

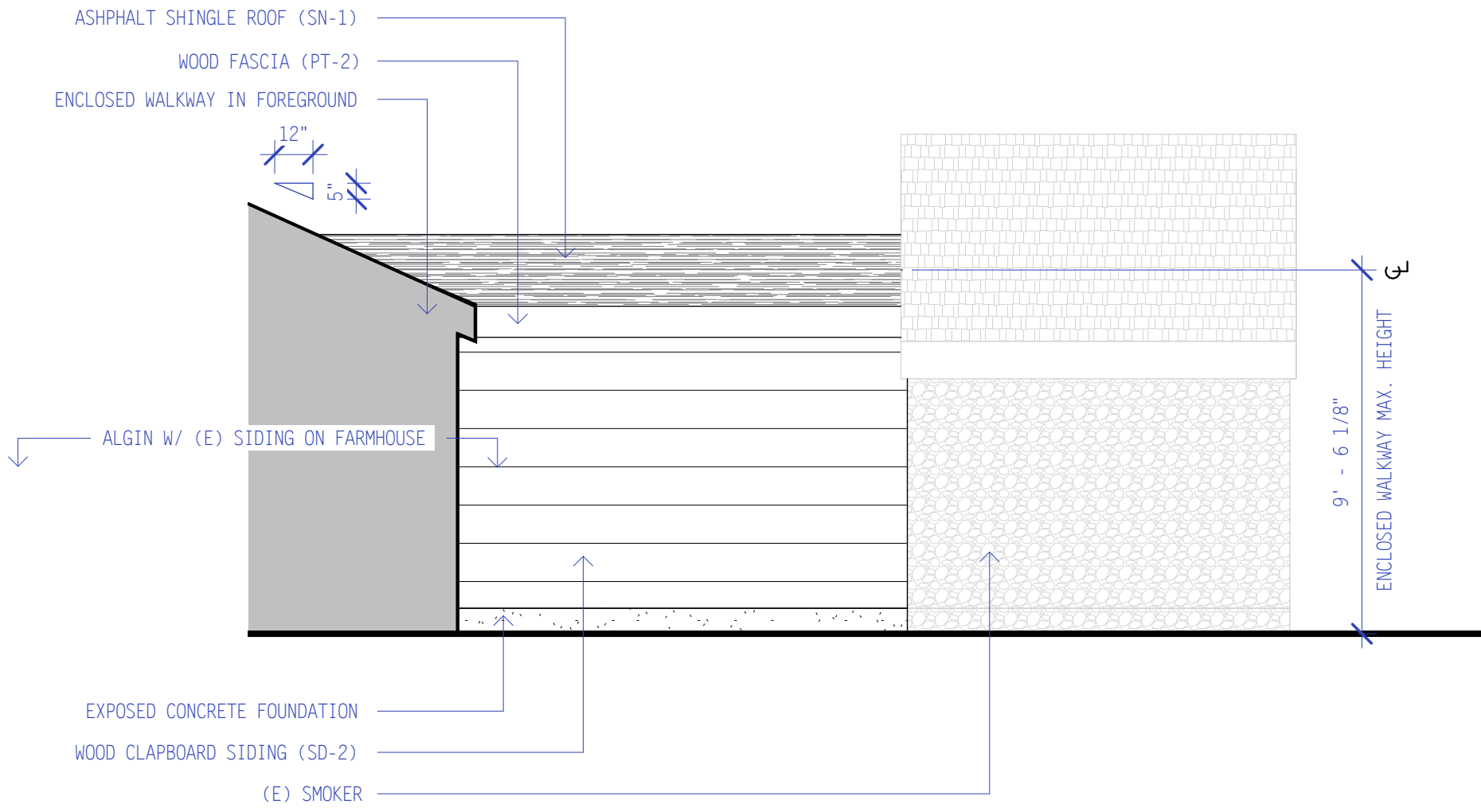
ROOF PLAN

SITE PLAN REVIEW & SPECIAL LAND USE DOCUMENTS



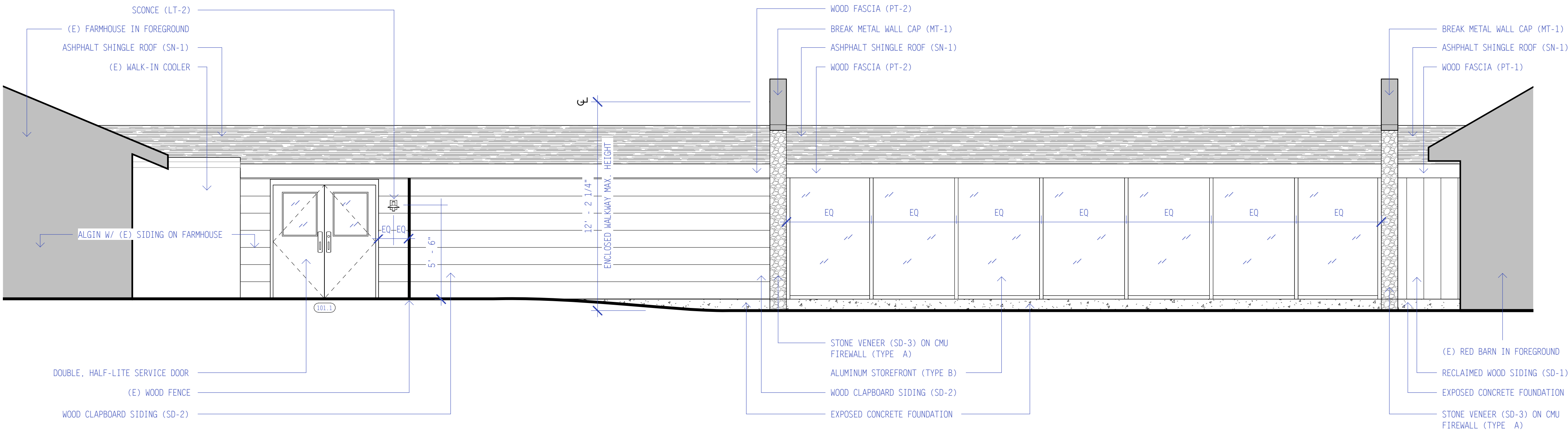
PROJECT ISSUE DATE:  
10 - 31 - 2023





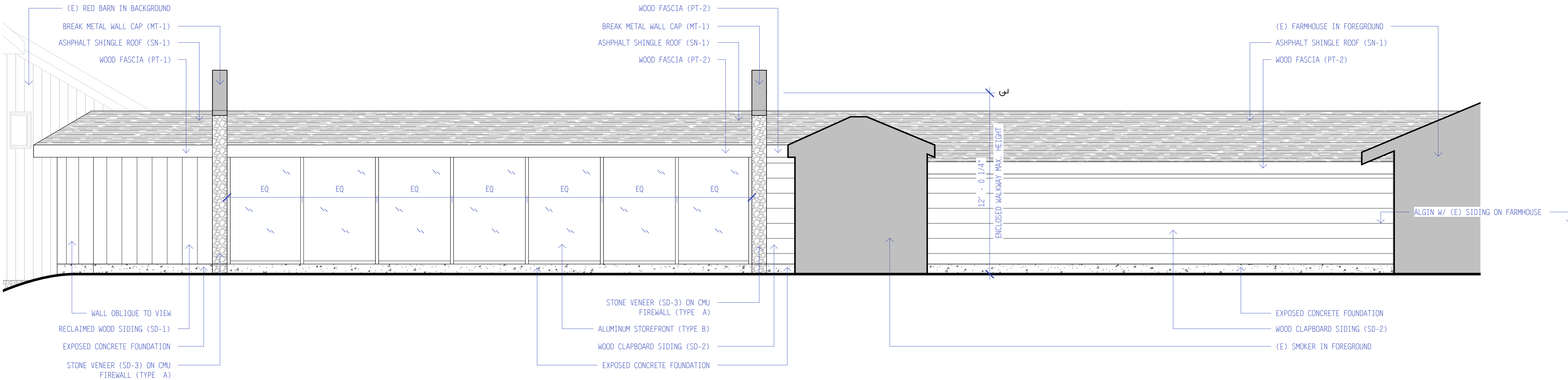
ENCLOSED WALKWAY, W  
1/4" = 1'-0"

3



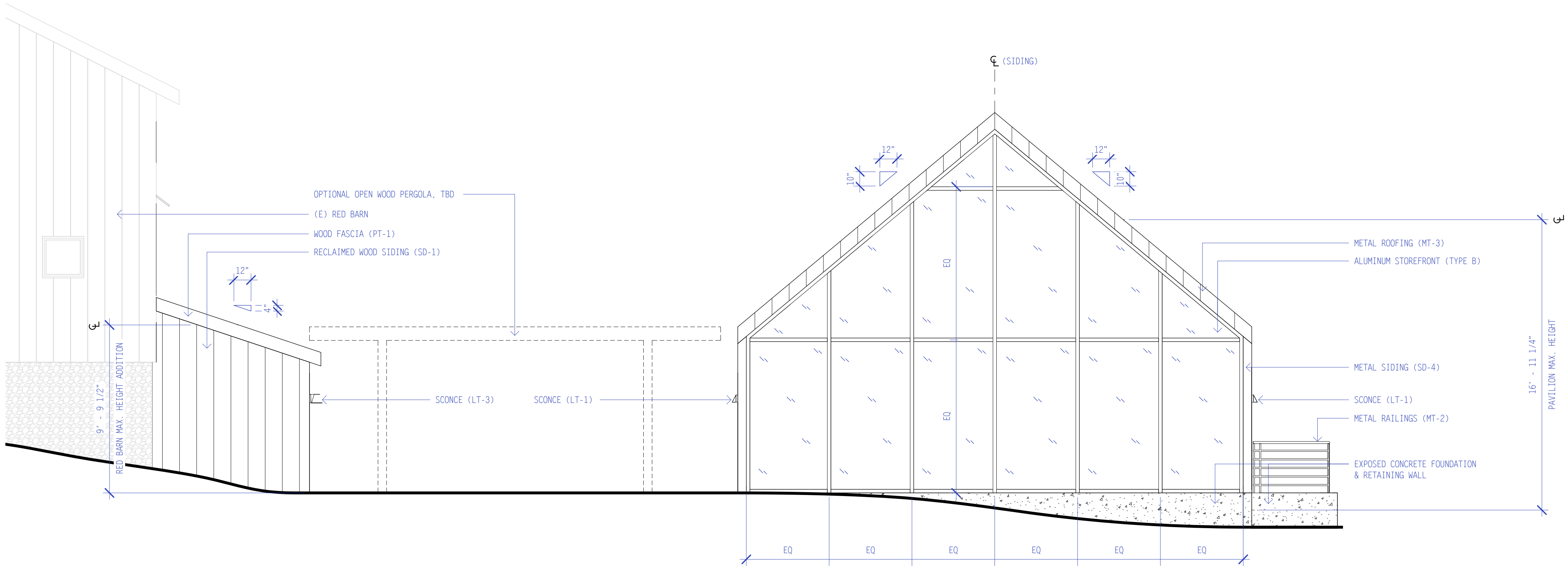
ENCLOSED WALKWAY, N  
1/4" = 1'-0"

2



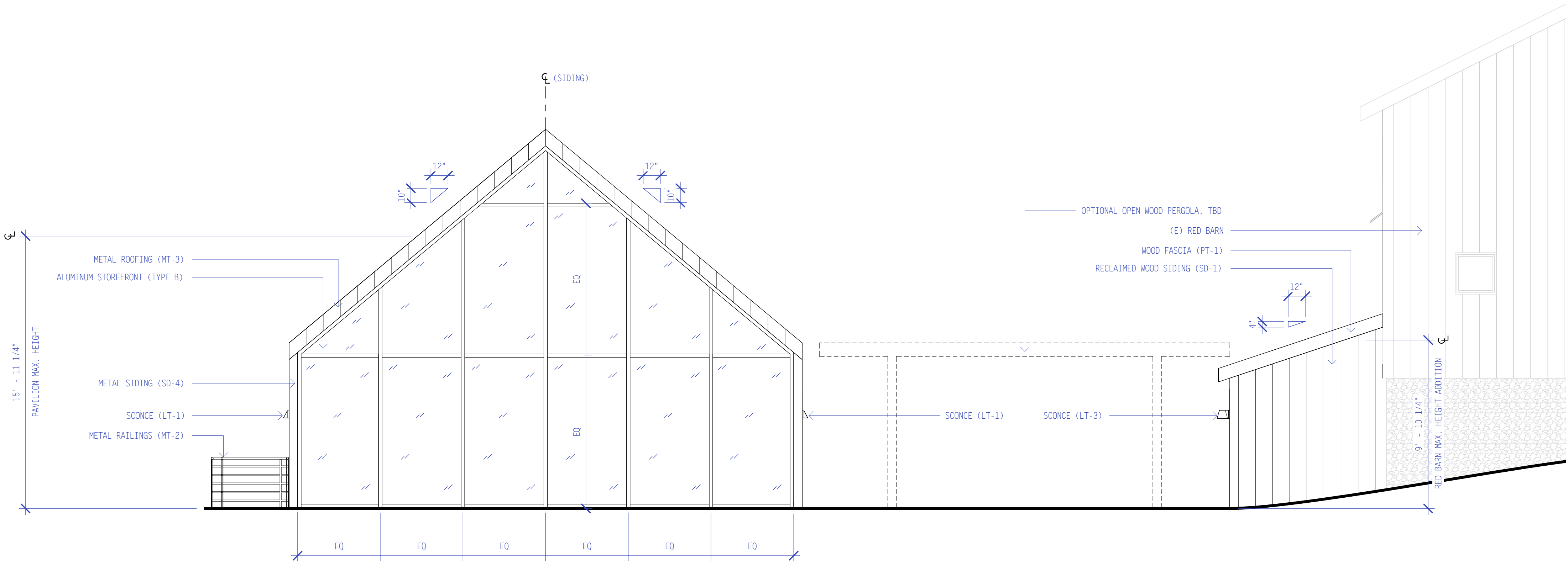
ENCLOSED WALKWAY, S  
1/4" = 1'-0"

1



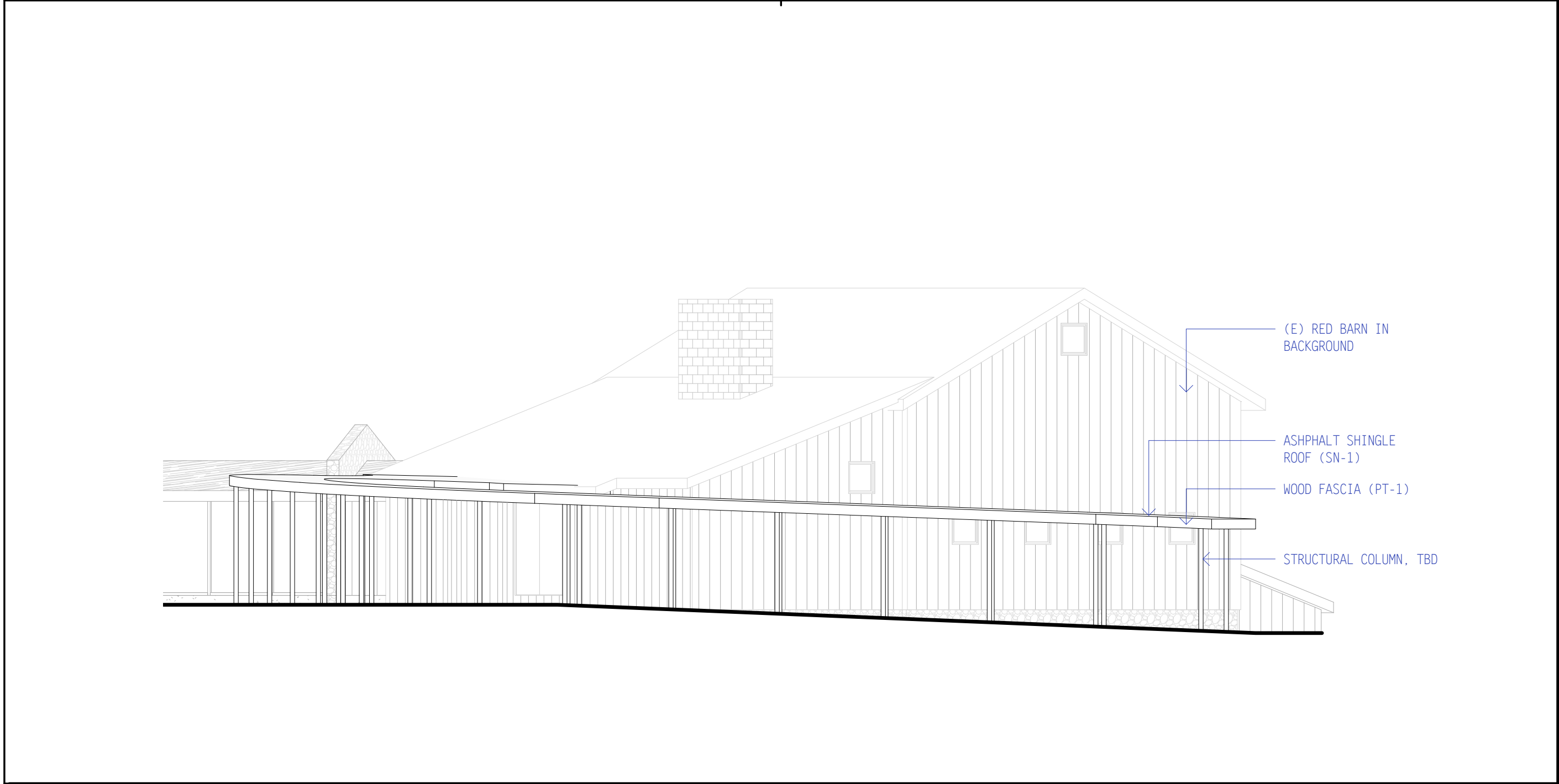
PAVILION & RED BARN, NW

1/4" = 1'-0"

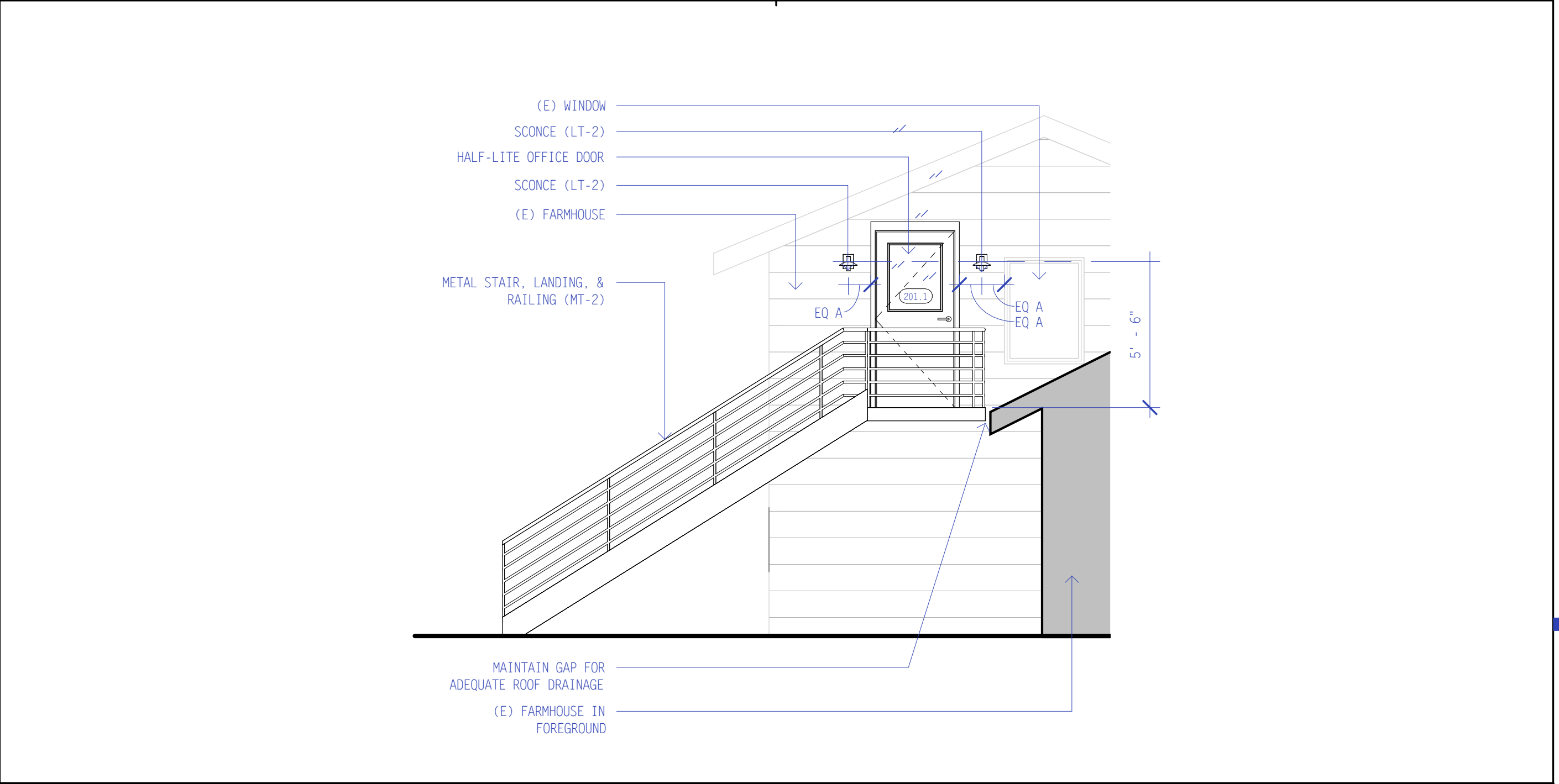


PAVILION & RED BARN, SE

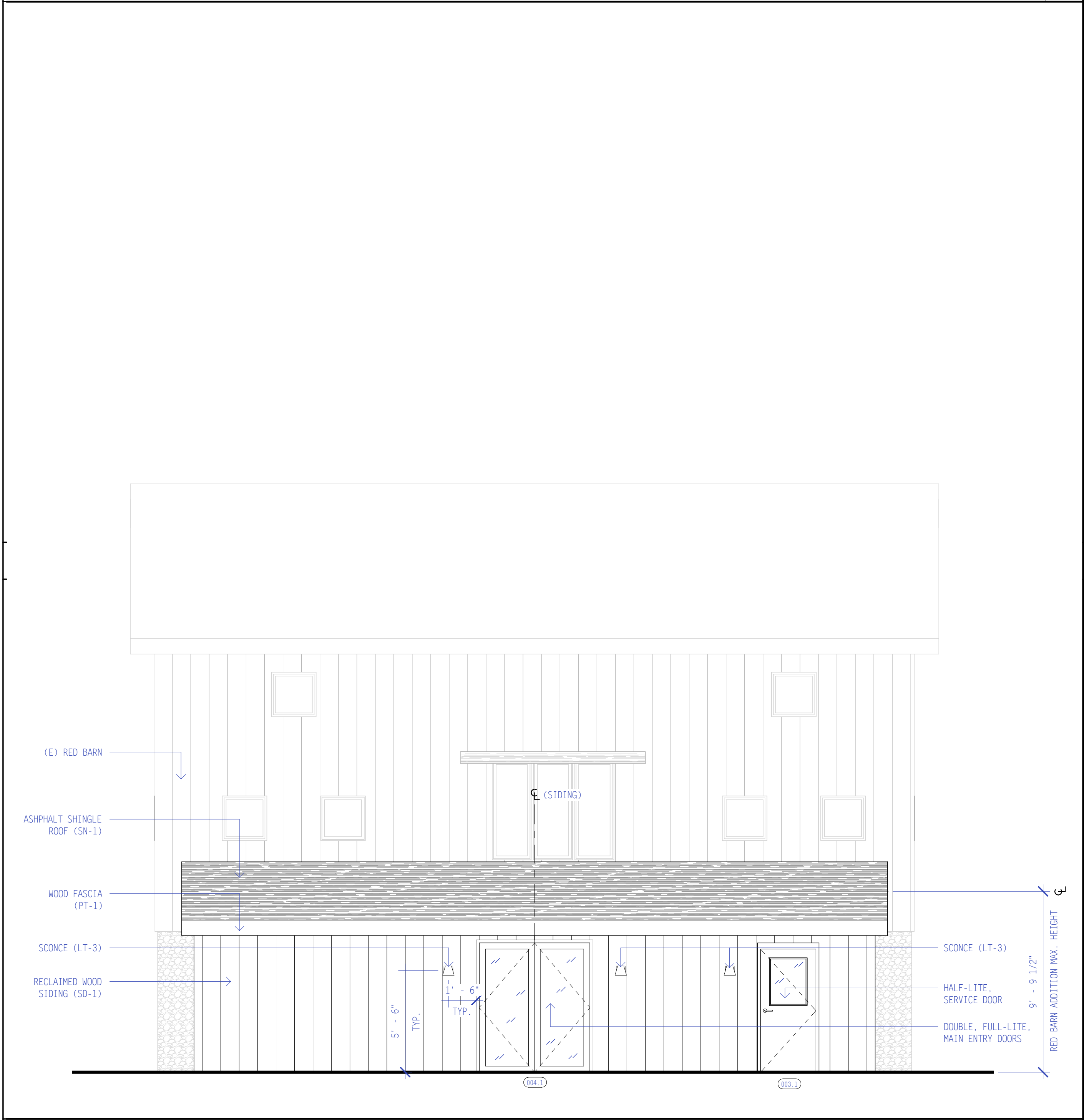
1/4" = 1'-0"



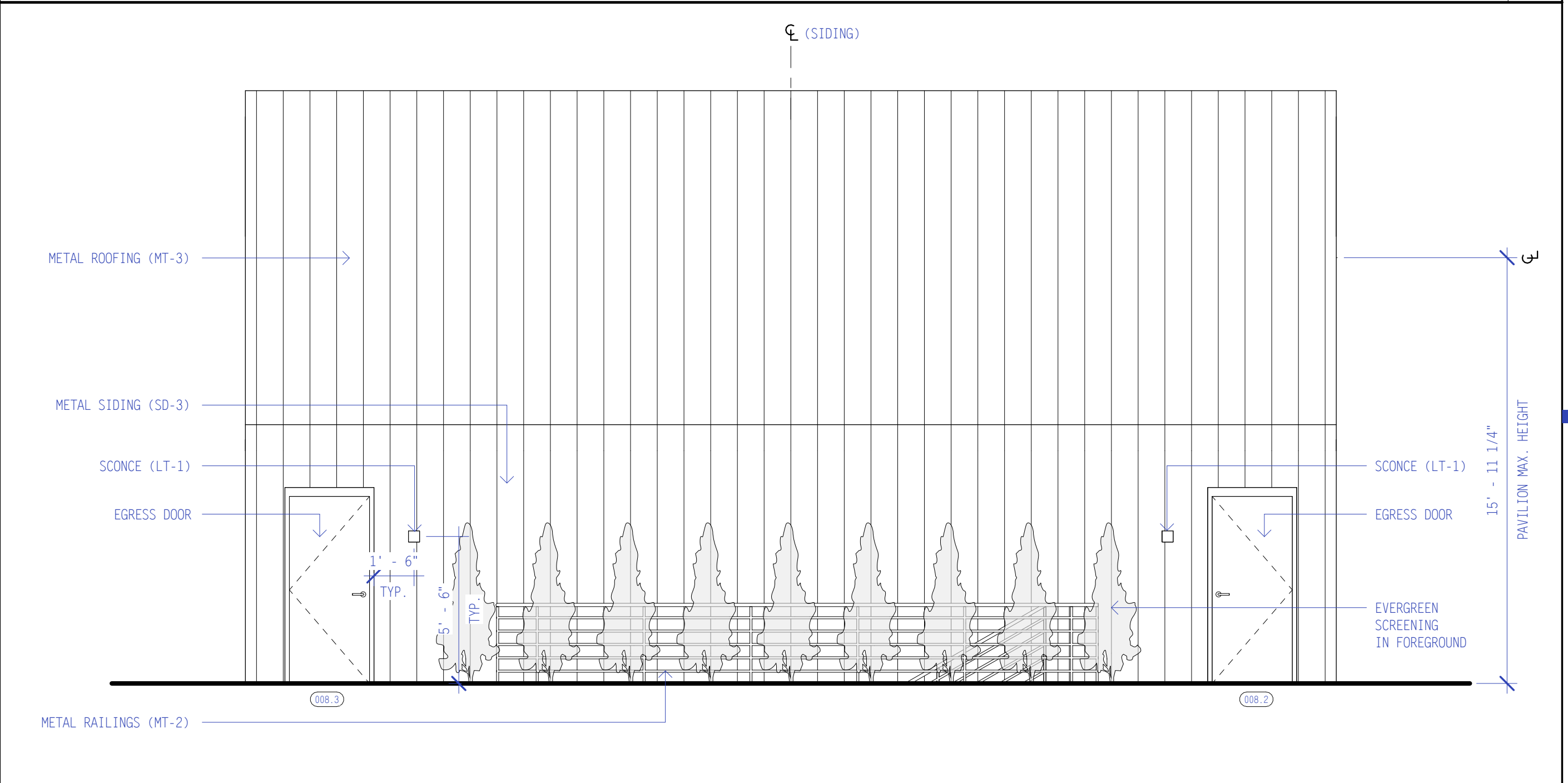
COVERED WALKWAY, N (TYP.)  
1/8" = 1'-0" 9



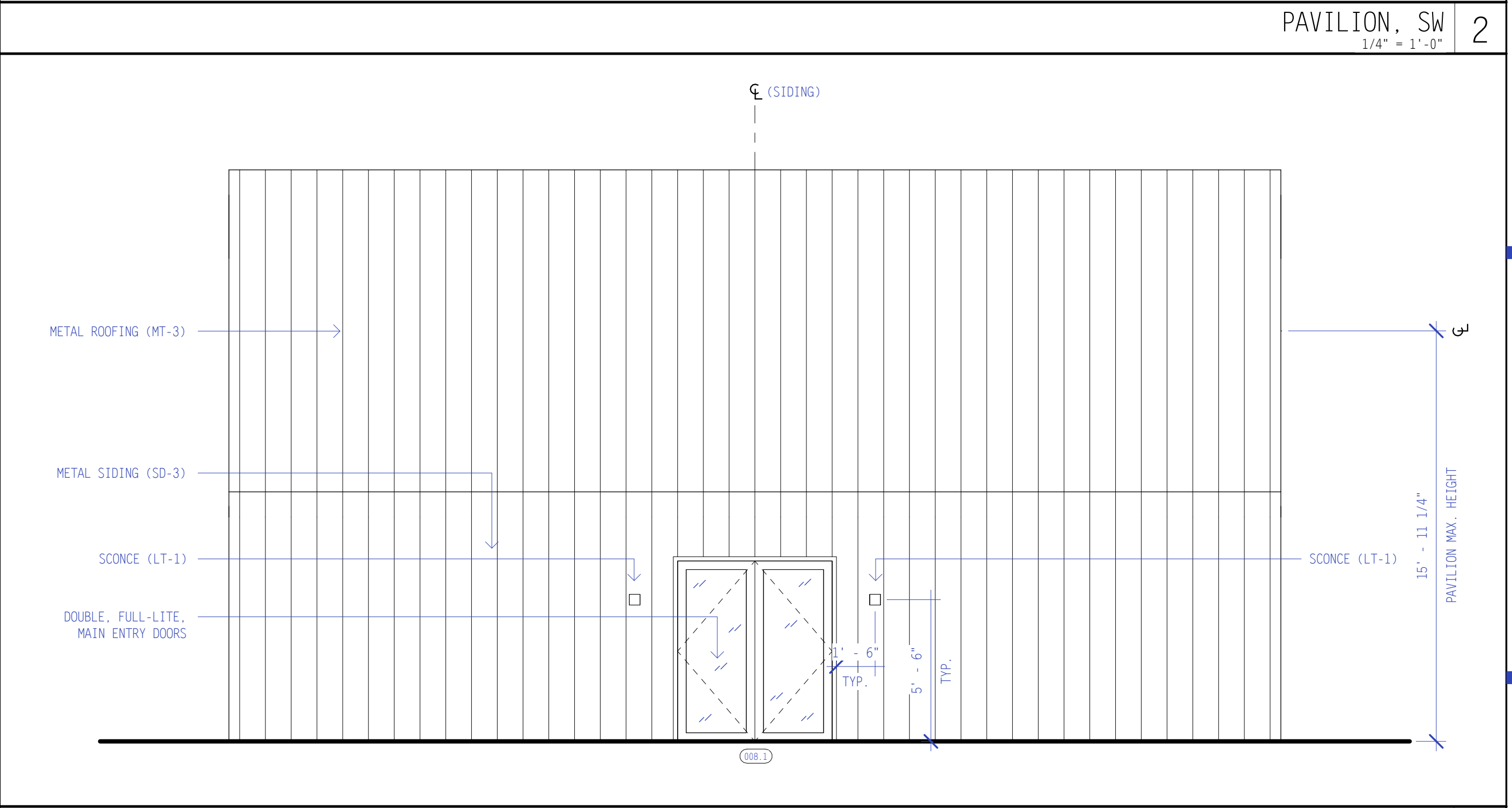
FARMHOUSE, N  
1/4" = 1'-0" 3



RED BARN, SW  
1/4" = 1'-0" 7



PAVILION, SW  
1/4" = 1'-0" 2



PAVILION, NE  
1/4" = 1'-0" 1





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: November 21, 2023

## **Preliminary Site Plan and Special Land Use Review Dexter Township, Michigan**

### **GENERAL INFORMATION**

<b>Applicant:</b>	Corn Man LLC
<b>Project Name:</b>	Cornman Farms Building Additions
<b>Plan Date:</b>	October 31, 2023
<b>Location:</b>	8540 Island Lake Road (D-04-36-400-002)
<b>Zoning:</b>	RR, Rural Residential
<b>Action Requested:</b>	Preliminary Site Plan and Special Land Use Approval
<b>Required Information:</b>	Deficiencies are noted in the sections below.

### **PROJECT AND SITE DESCRIPTION**

This is our first review of the preliminary site plan for additional buildings to the Cornman Farms special event facility. The event facility is located on three (3) parcels: D-04-36-400-002 located in Dexter Township, and C-03-31-300-003 and C-31-300-011 located in Webster Township. No improvements are proposed on the Webster Township parcels. For the purposes of this review, the subject site refers to the parcel in Dexter Township, D-04-36-400-002.

The plans propose the following structures and buildings:

- A 1,105 square foot enclosed walkway from the existing farmhouse to the existing red barn, enclosing the existing smoker.
- A covered walkway addition of 942 square feet over the existing sidewalk between the red barn and the gravel turn around area.
- An addition to the existing red barn of 369 square feet.

*Benjamin R. Carlisle, President Douglas J. Lewan, Executive Vice President John L. Enos, Vice President  
David Scurto, Principal Sally M. Elmiger, Principal R. Donald Wortman, Principal  
Paul Montagno, Principal, Megan Masson-Minock, Principal, Laura Kreps, Senior Associate  
Richard K. Carlisle, Past President/Senior Principal*

- A 1,180 square foot pavilion. The applicant has stated in a letter that the pavilion will take the place of the large tent used for events.
- A patio connecting the red barn and the pavilion.
- A garden amphitheater.
- An expansion of the existing septic field.
- Conversion of a portion of the existing storage barn to a private groom's suite.

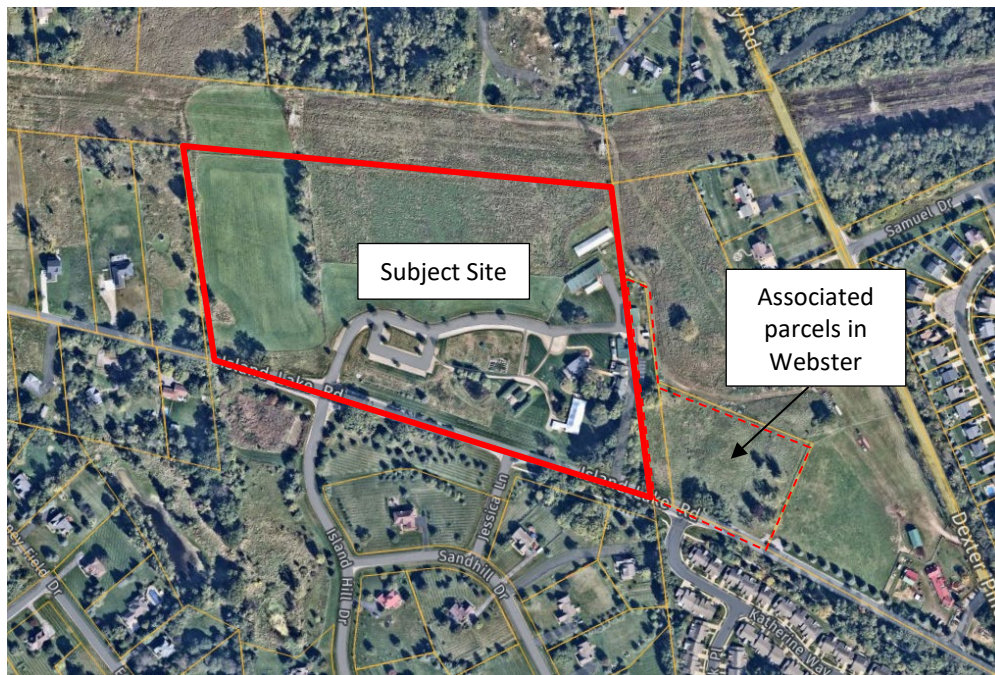
The number of events is expected to remain the same as in the past (100-150 events). In their letter dated November 7, 2023, the applicant has stated that the following operational changes will be made in 2024, associated with the proposed improvements:

- Reduction of the maximum capacity from over 200 people to 75 people.
- Reduction in hours for events from 10:00 a.m. to midnight to 11:00 a.m. to 11:00 p.m.

We note that the floor plans on Sheets A-1.00 and A-1.01 show seating in the pavilion and red barn for eighty (80) guests. The applicant should increase the maximum number or revise the floor plans.

The Zoning Ordinance allows special event facilities as a special land use in the Rural Residential zoning district. Since buildings are proposed, the application is an amendment to the existing Special Land Use and is subject to the provisions of Section 28.08 of the Township Zoning Ordinance, which requires a public hearing. After the public hearing, the Planning Commission may approve, approve with conditions or deny the Special Land Use amendment. The Planning Commission reviews preliminary site plans and a concurring vote of at least four (4) members of the Planning Commission is necessary to approve a preliminary site plan.

#### Existing Site Conditions



Source: NearMap, October 2, 2023

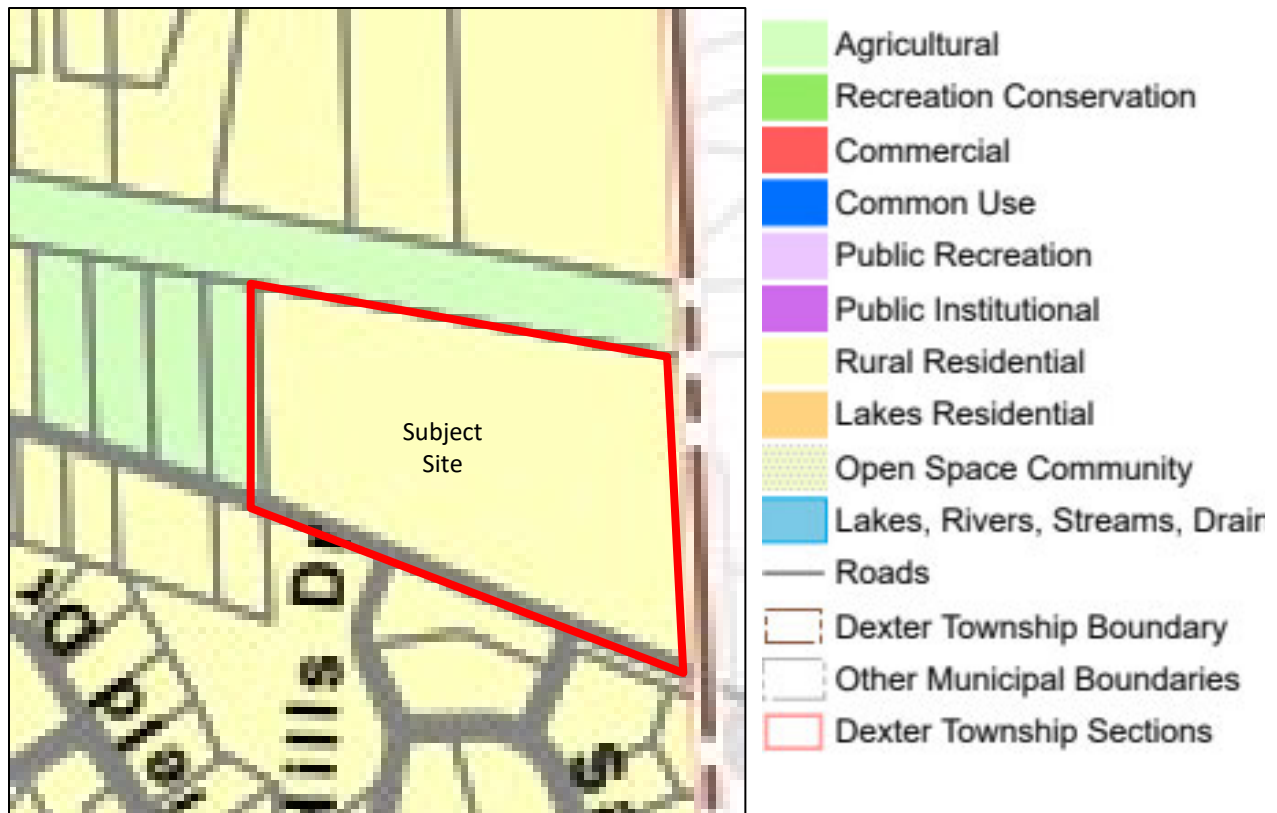
**Items to be Addressed:** Clarification from applicant on maximum number of guests.

## NEIGHBORING ZONING AND LAND USE

The zoning, future land use in the Township Master Plan, and existing land uses for the subject site and surrounding parcels is on the table below:

Direction	Zoning	Future Land Use	Existing Use
<b>Subject Site:</b> 8540 Island Lake Road (D-04-36-400-002)	Rural Residential	Rural Residential Special Planning Area 2	Event Facility
<b>North</b>	Agricultural Rural Residential	Rural Residential	Utilities Residential
<b>South</b>	Rural Residential	Rural Residential	Residential
<b>East (Webster Twp)</b>	Rural Residential Commercial	Urban Residential Commercial Node	Event Facility Farm stand and store
<b>West</b>	Agricultural	Rural Residential Special Planning Area 2	Vacant

## Zoning



The intent of the Rural Residential Zoning District is:

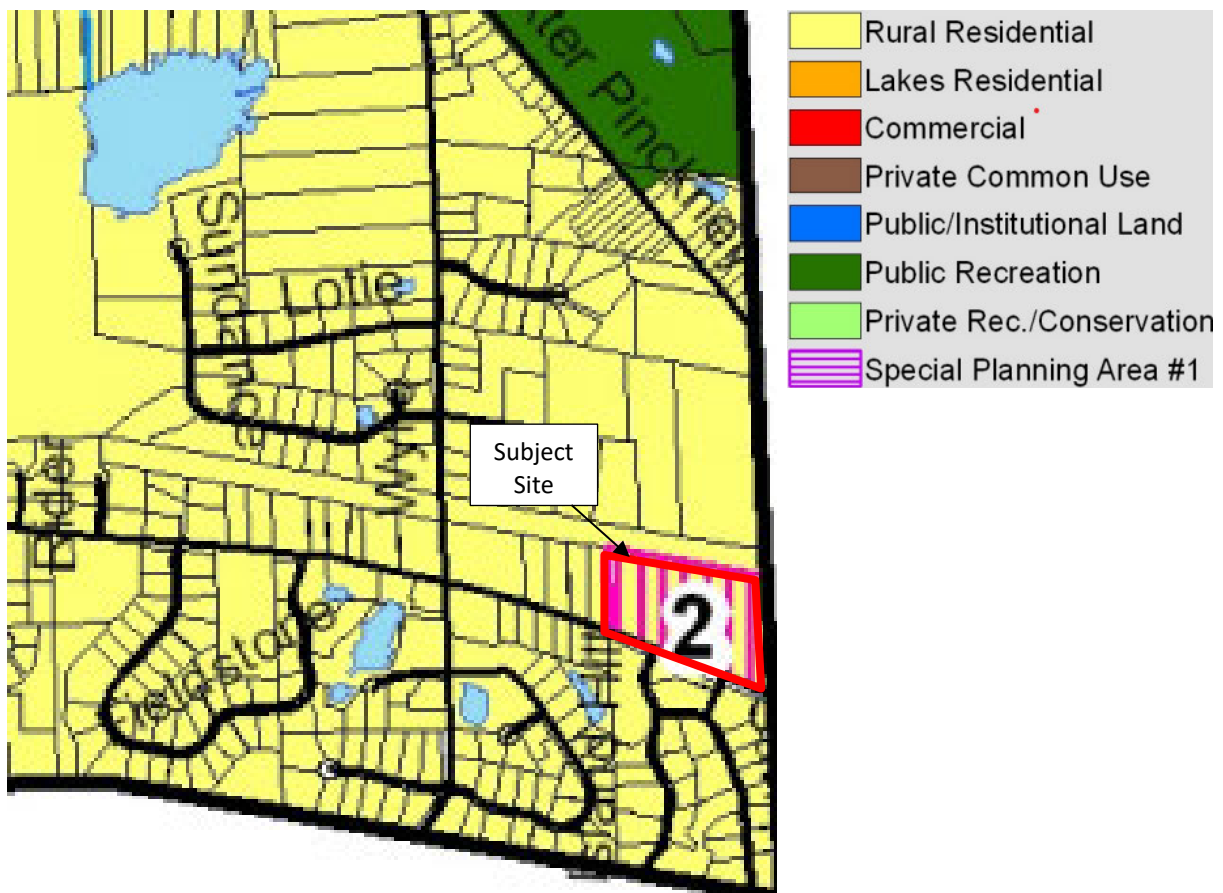
*"The Rural Residential District is to provide opportunities for relatively low-density residential uses in a manner that maintains, enhances, and preserves open spaces, including farmlands, woodlands, and wetlands that contribute to the rural character of the Township. Opportunities to continue the limited agricultural operations should be encouraged. Woodlands, wetlands, and water courses should be preserved. It is also the intent of the district to provide opportunities for passive and active recreational uses that are compatible with the natural character of the land and surrounding uses."*

**Items to be Addressed:** None.

## MASTER PLAN

The subject site is planned as Rural Residential and Special Planning Area #2.

**Future Land Use Map from 2011 Dexter Township Master Plan**



The Rural Residential future land use designation is "intended to provide opportunities for the continuation of farming activities while also providing opportunities for rural residential lifestyles of comparatively low development densities." A special event use is not mentioned in the description of the Rural Residential future land designation, but the event space is associated with a working farm.

The Special Planning Area #2 allowed for higher residential densities than described in the Rural Residential designation, if those densities were necessary to meet a demand for affordable, smaller sized homes, or housing for senior or those with special needs. The description notes that, due to the proximity of Webster Township and the City of Dexter, coordination with those neighboring municipalities regarding growth management and infrastructure is important.

The following goals and objectives from the 2011 Dexter Township Master Plan are relevant to this proposal:

Overall Goal: *"Promote an efficient pattern of development where Dexter Township continues to develop into a high-quality residential area that sustains our sense of place and rural character, protects existing agricultural enterprises, preserves our natural environment and resources, protects property rights, and is consistent with the Township's ability to provide the necessary infrastructure and services."*

Agricultural Goal: *"Encourage and support the creation and continuation of local farming operations and the long-term protection and viability of farmland resources by the provision of an environment conducive to agricultural operations."*

Commercial Goal: *"Allow commercial land uses of a size, scale and character that are intended to serve the day-to-day needs of the local population, compatible with available public infrastructure and services, and of a design that preserves the natural resources and rural character of the Township."*

While an event facility is not specifically mentioned in the Rural Residential or Special Planning Area #2 descriptions, the Planning Commission previously determined that the use was generally consistent with the Master Plan when the original Special Land Use was approved. The applicant is intending to decrease the intensity of the use, although adding additional buildings and impervious surface to the site.

***Items to be Addressed: None.***

#### **AREA, WIDTH, HEIGHT, SETBACKS**

The following table on the following page summarizes the required and proposed area, width, height, and setbacks for the proposal:

Dimension	Required	Proposed	Complies
Min. Lot Area	2 acres	2.32 acres	Complies
Min. Lot Width	150 feet	1,371.07 feet	Complies
Min. Setbacks			
Front	80 feet	213 feet, 6 inches	Complies
Side (west)	15 feet	996 feet, 4 inches	Complies
Side (east)	15 feet	0 feet	Existing nonconformity
Side (combined)	30 feet	996 feet, 4 inches	Complies
Rear	30 feet	127 feet, 6 inches	Complies
Between buildings	10 feet	<10 feet	Complies
Max. Building Height			
Enclosed Walkway	30 feet	9 feet, 6 1/8 inches	Complies
Pavilion		16 feet, 11 1/4 inches	Complies
Red Barn Addition		9 feet, 9 1/2 inches	Complies
Max. Lot Coverage			
Buildings	11,543 square feet	21,092 square feet	Variance needed
Impervious Surfaces	20%	10.62%	Complies

The east side setback is an existing nonconformity and will not be increased due to the proposal. The event center encompasses the adjacent property in Webster Township to the east.

The red barn may be taller than thirty (30) feet, but the proposed addition is less than the maximum height and does not increase the possible existing nonconformity.

The applicant has applied for a variance from the maximum lot coverage. Per Section 27.04(C), site plans requiring a variance must have preliminary approval before the Zoning Board of Appeals holds a public hearing for the variance. The variance for this proposal is scheduled for the Zoning Board of Appeals meeting on December 5, 2023. The variance requested includes 3,223 square feet of building area for future additions. If the event facility were to expand in the future, a site plan and special land use amendment would be required.

**Items to be addressed:** *Variance for building maximum lot coverage from the Zoning Board of Appeals after preliminary site plan approval.*

## BUILDING DESIGN

Floor plans and elevations for the proposed buildings have been provided. The enclosed walkway exterior materials will be a combination of wood clapboard siding, reclaimed wood siding, and glass with aluminum frames with wood fascia, stone veneer piers, and an asphalt shingle roof. The red barn addition will have reclaimed wood siding, wood fascia, and an asphalt shingle roof.

The pavilion will have a metal roof. The facades facing northwest and southeast will be glass with aluminum frames. The southwest and northeast facades are proposed to be metal siding, with two egress doors and a double main entry door, respectively.

**Items to be Addressed:** *None.*

## NATURAL FEATURES

The site has the following natural features:

**Topography:** The site gently slopes with the highest point at the rear of the property.

**Woodlands:** No woodlands exist on the site.

**Wetlands:** No wetlands are on site.

**Floodplains:** The site does not include FEMA flood plain.

A site plan decision criterion for preliminary site plan review listed in Table 27.2 is that landscape shall retain, as much as possible, a natural state, by reasonably minimizing tree, vegetation, and soil removal and topographical modifications.

**Items to be Addressed:** None.

## TRAFFIC IMPACT

The maximum number of people at the event facility is proposed to be reduced and the parking areas will remain the same. The proposal will likely decrease the traffic impacts of the event facility, which can be adequately accommodated by the street network.

**Items to be Addressed:** None.

## LANDSCAPING

The table below summarizes the required and proposed landscaping per Article 20 of the Zoning Ordinance for the portion of the site proposed for development.

	Required	Proposed	Compliance
<b>Disturbed Area</b>			
At least 1 deciduous shade tree per every 10,000 square feet of disturbed area	$42,000 \text{ s.f.} / 10,000 \text{ s.f.} = 4.2 = 4 \text{ trees}$	4 trees	Complies
<b>Minimum Landscaping</b>			
10% of the area landscaped	$92,527 \text{ s.f.} \times 0.10 = 9,253 \text{ s.f.}$	906,361 s.f.	Complies

	Required	Proposed	Compliance
<b>Screening and Buffering – Non-Residential</b>			
<b>Front</b> 1 tree for every 30 linear feet or fraction thereof	1,371.07 feet / 30 = 45.7 = 46 trees	5 proposed 6 preserved 11 trees total	Administrative adjustment needed
<b>Side and Rear</b> Solid, 5-foot high buffer with 75% opacity in 3 years	Solid, 5-foot high buffer with 75% opacity in 3 years	None	Administrative adjustments needed
<b>Parking Lot Landscaping</b>			
<b>Street Screening</b>	Screening to block headlights of motor vehicles in the off-street parking	Existing landscaping	Complies
<b>Trees</b> 1 tree for every 8 parking spaces or fraction thereof	The number of parking spaces in each lot is needed	7 existing trees	Unknown

The applicant is proposing nine (9) Otto Luyken English Laurel shrubs in front of the southwest façade of the proposed pavilion. After consultation with the landscape architect on our staff, we are concerned that the subject site is on the edge of this species' hardiness zone and this cultivar (maximum height typically of 3-4 feet) would not provide the screening shown on the exterior elevations on sheet A-2.03. The following native species may fare better in the long term: Summersweet (*Clethra alnifolia*), New Jersey Tea (*Ceanothus americanus*), Dwarf ninebark e.g., 'Tiny Wine' or 'Ginger Wine' or 'Little Devil', (*Physocarpus opulifolius*), or Gro-low Sumac (*Rhus aromatica* 'Gro-low').

In the original approval of the Special Land Use, Preliminary and Final Site Plan for the event facility, the Planning Commission granted a waiver for the buffer areas. The Planning Commission may, under Section 20.08, grant an administrative adjustment from the provisions of Article 20, when at least one of the following criteria applies: natural screening, topography, wetlands, stormwater management, building heights, existing structures, significant view, traffic, and utilities. We recommend that the items noted above needing waivers be given an administrative adjustment in order to preserve the significant views of agricultural fields on the subject site and adjacent properties.

In addition, the landscape plan does not comply with the following requirements in Section 20.09:

- **Landscape Architect:** The landscape plan must be prepared and stamped by a landscape architect licensed by the State of Michigan.
- **Preservation:** The following details on the landscaping to be preserved must be provided: the location, size, and conditions, including common and scientific names, for existing trees and plant materials to be preserved; and the proposed methods of protecting the plant material to remain during construction, including the type and location.
- **Removal:** It is unclear if any landscaping or trees is proposed, particularly for the expansion of the septic field. If no removal is proposed, a note to that extent should be added to the landscape

plan. If removal is proposed, the location, size, and conditions, including common and scientific names, for deciduous trees with a diameter of eight (8) or more inches or coniferous trees with a height of eight (8) or more feet to be removed must be noted on the landscape plan.

- **Maintenance Plan:** A landscaping maintenance plan must be provided. At a minimum, the program should include a statement that all diseased, damaged, or dead plant materials shall be replaced in accordance with the standards of Article 20 of the Dexter Township Zoning Ordinance and the approved final site plan.

The Planning Commission may waive the requirement to include specific information from a site plan by making a written finding describing how omission of the information will not negatively impact the ability to review the site plan for compliance with this Ordinance, other Township ordinances, and county, state, and federal laws. We recommend the Planning Commission consider whether size, conditions, common and scientific names of trees to be preserved and/or removed are necessary for this site plan as well as information regarding the parking lot trees.

**Items to be addressed:** 1) Compliance with buffer requirements or administrative adjustment from the Planning Commission; 2) Replacement of Otto Luyken English Laurel shrubs with a plant material hardy to Dexter Township; and 3) Revised landscape plan meeting the requirements of Section 20.09, exclusive of any administrative adjustments from the Planning Commission.

#### ACCESS, DRIVEWAYS, AND CIRCULATION

The access, driveways, and circulation are not proposed to change. The circulation arrangement and internal circulation meet the site plan decision criteria in Table 27.2.

**Items to be addressed:** None.

#### PARKING

The table below summarizes the required and proposed number of vehicular parking spaces per Table 18.1, using the maximum number of guests as eighty (80) per the number of seats shown on the submitted floor plans:

	Required	Proposed	Compliance
<b>Minimum</b> <i>Special Event Facility</i> 1 space for every 2 seats of capacity; plus 1 space per employee	80 seats/2 + 15 employees = 55 = 55 parking spaces	126 spaces on subject site 15 spaces on associated Webster Twp parcels Total: 141 spaces	Complies

No changes are proposed for the existing off-street gravel parking lots or maneuvering lanes. In the original approval of the Special Land Use, Preliminary and Final Site Plan for the event facility, the Planning Commission granted waivers for the marking or designation of individual parking spaces on unimproved gravel and grass parking areas, as well as parking areas with unimproved surfaces. The Planning Commission may allow the gravel surfacing the proposed surfacing will prevent the release of hazardous materials from motor vehicles, be more consistent with the intent of the Zoning Ordinance, and an

agreement is signed by the applicant and owners, with a maintenance agreement. The agreement must be approved by the Township Attorney and recorded with the Registrar of Deeds.

**Items to be addressed:** *Agreement for gravel parking lot is approved by the Township Attorney.*

#### LOADING

Section 18.05 requires that every structure or use that is established, changed, or expanded that customarily receives or distributes goods or materials by motor vehicle provides an off-street loading space. No off-street loading space is shown on the site plan, but there seems to be ample room for a loading space. The applicant should clarify where loading occurs on the site and note the loading space location on the final site plan.

**Items to be addressed:** *1) Clarification from the applicant on loading location(s); and 2) Location of loading space shown on the final site plan.*

#### SOIL EROSION CONTROL, UTILITIES & STORMWATER MANAGEMENT

We defer to the Township Engineer on these items.

**Items to be addressed:** *None.*

#### LIGHTING

A lighting plan is not required for preliminary site plan or special land use reviews. Sconce lighting is proposed on the facades of the farmhouse, pavilion, and red barn addition.

**Items to be addressed:** *A lighting plan must be submitted as part of the final site plan.*

#### PRIVACY

A site plan decision criterion for preliminary site plan review listed in Table 27.2 is that the site shall be arranged to provide reasonable visual, sound, and light privacy for all dwelling units located on it and in the surrounding area. The proposed building additions are arranged in a manner to provide reasonable privacy. The replacement of the tent with the pavilion should lessen visual, sound, and light impacts.

**Items to be addressed:** *None.*

#### WASTE RECEPTACLES AND ENCLOSURES

The location of any existing and proposed waste receptacles, enclosures, and associated screening must be shown on the site plan. In the original approval of the Special Land Use, Preliminary and Final Site Plan for the event facility, the Planning Commission granted a waiver for the screening between the trash/recycling area and the properties to the east. If waste receptacles are inside proposed or existing structures, such as the existing shed, it should be noted on the site plan. Waste receptacles and enclosures must meet the standards in Section 16.23 of the Township Zoning Ordinance.

**Items to be addressed:** *The location and screening, in compliance with Section 16.23, of waste receptacles enclosures, and associated screening.*

## SIGNS

No changes or additional signage is proposed.

**Items to be addressed:** *None.*

## HAZARDOUS MATERIALS

No hazardous materials are proposed on site or are typically associated with the proposed use.

**Items to be addressed:** *None.*

## EVENT FACILITY REQUIREMENTS

The proposed amendment to the event facility must meet the standards in Section 17.04 (L):

1. **Access.** Access shall only be from a paved major or paved minor thoroughfare.

**CWA COMMENTS:** Access is from Island Lake Road, which is a paved minor thoroughfare.

2. **Lot Area.** The lot area shall be at least 20 acres.

**CWA COMMENTS:** The lot area of the subject site is 22.32 acres, with total area of 26.16 acres for the entire event facility.

3. **Frontage:** The frontage shall be at least 600 feet.

**CWA COMMENTS:** The subject site has approximately 1,365 lineal feet of frontage on Island Lake Road.

4. **Farm Operation:** The special event facility shall include a commercial farm operation.

**CWA COMMENTS:** The commercial farm operation included with the special event facility is proposed to continue. The proposed improvements do not seem to disturb working agricultural areas.

5. **Outdoor Dining and Entertainment:** Outdoor dining and entertainment areas shall be at least one hundred (100) feet from any lot line.

**CWA COMMENTS:** The proposed amphitheater is more than one hundred (100) feet from any lot line.

6. **Temporary Zoning Permit:** A temporary zoning permit, as outlined in Section 16.33 Temporary Structures and Uses shall be required for each special event requiring a temporary structure or where the expected number of guests exceeds the maximum number of guests described on an approved site plan.

**CWA COMMENTS:** The applicant is proposing to decrease the maximum number of people on site.

- 7. Accessory Uses:** Accessory uses to the special event facility may include managerial facilities, maintenance facilities, educational facilities, a standard restaurant that may serve alcohol, and lodging of guests that are using the facility.

**CWA COMMENTS:** The applicant has not indicated that educational facilities, a standard restaurant, or lodging of guests are part of the request. Managerial facilities and maintenance facilities are proposed to continue.

- 8. Living Quarters:** A single, permanent dwelling may be located at the special event facility for use by the owner or caretaker.

**CWA COMMENTS:** It is unclear if an owner or caretaker lives on site.

- 9. Appearance:** The design of structures shall be of an agricultural or residential character complementary to the historic rural character of the surrounding district.

**CWA COMMENTS:** The addition to the red barn, the enclosed walkway, and the covered walkway are of an agricultural character and complementary to the historic rural character of the surrounding district. The proposed pavilion's roof pitch and shape is similar to those in the area, but the proposed metal and glass materials are more modern. As noted on Sheet G-0.03 of the site plan, the pavilion will be generally obscured from Island Lake Road by the existing willow garden and the proposed landscaping.

- 10. Hours of Operation:** The hours of operation for outdoor events shall be subject to Planning Commission approval with consideration of the impact on the safety, health, and welfare of surrounding properties and the area.

**CWA COMMENT:** The hours of operation are proposed to be 11:00 a.m. to 11:00 p.m. The Planning Commission should consider whether these hours, decreased from current practice, would impact safety, health, and welfare of surrounding properties and the area.

**Items to be addressed:** 1) Clarification from the applicant if an owner or caretaker lives on-site; 2) Planning Commission finding as to whether the design of proposed structures is of an agricultural or residential character complementary to the historic rural character of the surrounding district; and 3) Planning Commission approval of proposed hours of operation.

## **SPECIAL LAND USE STANDARDS**

Section 28.08 lists the decision criteria for all special land amendments and expansions. Prior to approving a Special Land Use amendment, the Planning Commission must find all of the following to be true:

- 1. Original Decision Criteria.** The amendment or expansion of the special land use shall not negatively affect any of the original decision criteria.

**CWA COMMENTS:** Per the staff report for the original approval, the original standards were: be harmonious with and in accordance with the general principles and objectives of the Township

General Development Plan; be harmonious with and in accordance with the general objectives, intent and purposes of the Zoning Ordinance; be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such as use will not change the essential character of the general area in which it is proposed; not be hazardous to any person or property, or detrimental or disturbing to the public welfare or to existing or reasonably anticipated future uses in the same general vicinity; be served adequately by essential public facilities and services; meet the site plan review requirements, and conform with all applicable county, state and federal requirements for that use. The proposed amendment will not negatively impact any of the original decision criteria.

- 2. Conditions.** The amendment or expansion of the special land use shall not conflict with any conditions of the original approval.

**CWA COMMENT:** The final resolution for the Special Land Use, Preliminary and Final Site Plan for the event facility granted by the Planning Commission is in the Planning Commission packet.

- 3. Impact.** The amendment or expansion of the special land use shall not have a significant impact on the use, value, or enjoyment of the surrounding area or the Township in general or appropriate mitigation measures will be made.

**CWA COMMENTS:** The amendment or expansion of the special land use will not have a significant impact on the use, value, or enjoyment of the surrounding area or the Township in general. As stated in their letter dated November 7, 2023, the maximum occupancy will decrease from over 200 to 75 people, hours of events will be limited to 11:00 a.m. to 11:00 p.m., and the venue will continue to host a single event a day. The number of events is anticipated to be the same.

**Items to be Addressed:** 1) The Planning Commission will need to decide if all of the decision criteria have been met.

## RECOMMENDATIONS

The applicant should provide the following information before the Planning Commission reviews the preliminary site plan:

1. Clarification on the maximum number of guests.
2. Clarification on loading location(s).
3. Clarification on whether an owner or caretaker lives on-site.

If the preliminary site is approved, the applicant must provide the following on the final site plan application:

1. Replacement of Otto Luyken English Laurel shrubs with a plant material hardy to Dexter Township.
2. Revised landscape plan meeting the requirements of Section 20.09, exclusive of any administrative adjustments from the Planning Commission.
3. Draft agreement for the gravel parking lot to be reviewed by the Township Attorney.
4. Loading space(s).

5. Lighting plan.
6. The location and screening, in compliance with Section 16.23, of waste receptacles enclosures, and associated screening.

The Planning Commission should make decisions or findings on the following:

1. Decision on proposed administrative adjustment to allow the buffer requirements as shown on the preliminary site plan.
2. Finding as to whether the design of structures is of an agricultural or residential character complementary to the historic rural character of the surrounding district.
3. Approval of the proposed hours of operation.
4. Decision as to whether all of the Special Land Use decision criteria for amendments listed in Section 28.08 have been met.
5. Decision as to whether the decision criteria for preliminary site plan listed in Section 27.10 have been met.

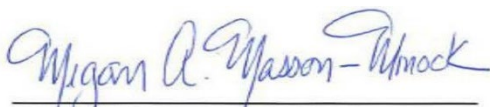
If the Planning Commission approves the preliminary site plan, we recommend the following conditions be placed on that approval:

1. The maximum number of guests is eighty (80) people.
2. A temporary zoning permit, as outlined in Section 16.33 Temporary Structures and Uses shall be required for each special event requiring a temporary structure or where the expected number of guests exceeds the maximum number of guests described on an approved site plan.
3. Approval of a variance for the building coverage of the proposed additional buildings greater than 11,543 square feet.

If the Planning Commission approves the special land use amendment, we recommend the following conditions be placed on that approval:

1. Hours of operation are limited to 11:00 a.m. to 11:00 p.m.
2. The number of events is limited to 150 events in a calendar year.

Respectfully submitted,



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CARLISLE/WORTMAN ASSOC., INC  
Megan Masson-Minock, AICP  
Principal

**DEXTER TOWNSHIP PLANNING COMMISSION**  
**Resolution for a Special Land Use & Site Plan Review (Preliminary & Final)**  
**(13-PC-147) Cornman Farms**

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**A resolution to grant approval of the SPECIAL LAND USE and SITE PLAN application submitted by Alex Young on behalf of the Cornman Farms for property owned by Cornman Farms, located at 8540 Island Lake, Section 36 of Dexter Township (Parcel D-04-36-400-002).**

- 10) WHEREAS, the above property has been used for agricultural production for well over a century; and
- 20) WHEREAS, Cornman Farms proposes to construct and operate a special event facility on the property; and
- 30) WHEREAS, said special event facility will include: restoration of existing structures, installation of a new driveway and parking areas, installation of landscaping and other improvements; and
- 40) WHEREAS, said special event facility will host receptions, meals, educational events, and agricultural production; and
- 50) WHEREAS, Cornman Farms, pursuant to the provisions of the Dexter Township Zoning Ordinance, submitted an application for a special land use and site plan review (13-PC-147) Cornman Farms on February 21, 2013, for the proposed special event facility; and
- 60) WHEREAS, Cornman Farms, submitted a revised site plan, letter, engineer's certificate of outlet, and drainage narrative on April 9, 2013; and
- 70) WHEREAS, Section 12.01(D)(14) of the Dexter Township Zoning Ordinance designates "Special Event Facilities" as a special land use in Rural Residential (RR) Districts; and
- 80) WHEREAS, the property is located in a Rural Residential (RR) District; and
- 90) WHEREAS, the Planning Commission has received reports from Zach Michels (*Dexter Township Director of Planning and Zoning*) dated March 14, 2013, March 25, 2013, and April 16, 2013, Matthew Parks (*OHM Engineering Advisors*) dated March 6, 2013 and April 12, 2013, Donald Dettling (*Dexter Area Fire Department Fire Inspector*) dated March 6, 2013, and April 14, 2013, David Dean (*Washtenaw County Water Resources Commission*) dated March 26, 2013, and Gary Streight (*Washtenaw County Road Commission*) dated March 21, 2013; and

**DEXTER TOWNSHIP PLANNING COMMISSION**  
**Resolution for a Special Land Use & Site Plan Review (Preliminary & Final)**  
**(13-PC-147) Cornman Farms**

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- 100) WHEREAS, the Dexter Township Zoning Administrator and Planner has determined that the missing site information, as outlined below, are not necessary to determine site plan compliance with the provisions of the Dexter Township Zoning Ordinance, as outlined in Section 6.03(C); and
- 110) WHEREAS, the Planning Commission, at its March 26, 2013, meeting, reviewed the special land use and site plan review application (13-PC-147) Cornman Farms for completeness, determined the application to be complete, and scheduled a public hearing for the special land use and site plan review (13-PC-147) Cornman Farms for April 23, 2013; and
- 120) WHEREAS, the Planning Commission, at its April 23, 2013, meeting, held a duly-noticed public hearing on the special land use and site plan review (13-PC-147) Cornman Farms; and
- 130) WHEREAS, the information in the special land use and site plan review application meets the completeness requirements of Section 6.03(B)(1) through 6.03(B)(15) of the Dexter Township Zoning Ordinance, except as to matters addressed below; and
- 140) WHEREAS, the Planning Commission grants a waiver, per section 6.03(C), from the requirements to include the following information on the site plan, because the Planning Commission has determined that omission of the following material does not negatively affect the its ability to review the site plan for consistency with the Dexter Township Zoning Ordinance:
- a) Section 6.03(B)(3): The site plan does not show contour lines 150 feet beyond the property line;
  - b) Section 6.04(B)(1): No impact statement has been supplied by the applicant nor requested by the Planning Commission; and
  - c) Section 6.04(B)(1): No traffic impact study has been supplied by the applicant nor requested by the Planning Commission.
- 150) WHEREAS, the information in the special land use and site plan review application meets the standards of Section 6.05(A) through Section 6.05(P) (*Site Plan Approval Standards*), Section 16.01(A)(1) through 16.01(A)(7) (*General Standards Applicable to All Special Land Uses*), Section 16.26 (*Special Event Facilities*), Section 18.18 (*Accessory Uses, Buildings, Structure, and Fences*),
-

**DEXTER TOWNSHIP PLANNING COMMISSION**  
**Resolution for a Special Land Use & Site Plan Review (Preliminary & Final)**  
**(13-PC-147) Cornman Farms**

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Article 20 (*Access Controls*), Article 21 (*Off-Street Parking and Loading*), Article 22 (*Signs*), Article 23 (*Landscaping and Screening*), and Article 24 (*Environmental Standards*); and

160) WHEREAS, parking standards for special event facilities are not specifically mentioned in Article 21 (*Off-Street Parking and Loading*) the Planning Commission has determined, per Section 21.02(B), at a public hearing that the parking standard for this special event facility shall be one (1) space for every two (2) guests and one (1) space for each employee for the largest shift, as required for "Standard Restaurants" under Section 21.03 and 21.03(B)(18) because the most intensive use of the special event facility is the restaurant; and

170) WHEREAS, the Planning Commission grants a waiver, per section 16.26(A)(5), from the following standards of Article 21 (*Off-Street Parking and Loading*) for the reasons listed below:

- a) Section 21.04(A): Marking or designation of individual parking spaces on unimproved gravel parking areas will be required as a condition of approval;
- b) Section 21.04(A): Marking or designation of individual parking spaces on unimproved grass parking areas will not be required in order to maintain the rural nature and character of the property; and
- c) Section 21.04(D): Several parking areas will have an unimproved surface in order to help maintain the rural nature of the property.

180) WHEREAS, the Planning Commission grants a waiver, per Section 23.10, from the following standards of Article 23 (*Landscaping and Screening*) for the reasons listed below:

- a) Section 23.04: Buffer areas will not be required because the open-space setbacks provide adequate buffering and maintain the rural natural of the property; and
- b) Section 23.05(C): Screening between the trash/recycling area and properties to the east will not be required because the adjacent property is under common ownership with this property and because the trash/recycling area will not be immediately installed.

**DEXTER TOWNSHIP PLANNING COMMISSION**  
**Resolution for a Special Land Use & Site Plan Review (Preliminary & Final)**  
**(13-PC-147) Cornman Farms**

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190) NOW, THEREFORE, BE IT RESOLVED, the Dexter Township Planning Commission, by a majority vote at a regularly-scheduled and duly-noticed meeting, held this 23<sup>rd</sup> day of April 2013, grants PRELIMINARY AND FINAL APPROVAL of the Special Land Use and Site Plan (13-PC-147) Cornman Farms, 8540 Island Lake, Section 36 of Dexter Township, (Parcel D-04-36-400-002), to Cornman Farms, subject to the conditions listed below:

- a)* All lighting shall comply with the standards outlined in the zoning ordinance;
- b)* All signs, though not shown on the site plan, shall comply with the standards outlined in the zoning ordinance;
- c)* All temporary sanitary facilities, though not shown on the site plan, shall comply with the setback and location standards outlined in the zoning ordinance;
- d)* The special event facility shall comply with Dexter Township sound standards outlined in Ordinance #5 or its successors;
- e)* The special event facility shall continue to maintain a farm operation;
- f)* The special event facility shall have outdoor hours of operation for serving of guests of 7:00 am through 10:00 pm on Sunday through Thursday and from 7:00 am through 12:00 midnight on Fridays, Saturdays, and holidays because the distance between the proposed outdoor entertainment areas and the adjacent dwellings will help protect the health, safety, and welfare of the adjacent properties as well as the proposed use of the facility and because the noise standards (outlined in Ordinance #5) will help protect the adjacent dwellings from negative effects;
- g)* The special event facility shall have indoor hours of operation for serving of guests not to extend past 1:00 am on all nights in order to protect the health, safety, and welfare of the nearby residents;
- h)* Parking spaces shall be marked or delineated in the future in any parking area that is paved;
- i)* Screening consistent with the zoning ordinance standards, Section 23.05(C) shall be installed if the adjacent property to the east is sold;
- j)* Comply with all applicable county, state, and federal requirements for that use;

**DEXTER TOWNSHIP PLANNING COMMISSION**  
**Resolution for a Special Land Use & Site Plan Review (Preliminary & Final)**  
**(13-PC-147) Cornman Farms**

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- k)* The site plan shall be amended to increase the turnaround diameter of the driveway to 70 feet, per the DAFD;
- l)* Meet conditions as per the OHM review letter dated April 12, 2013;
- m)* That this approval shall not take effect until the applicant has paid, in full, all monies owed to Dexter Township for fees, expenses, and/or other related issues relating to the special land use and site plan review for (13-PC-147) Cornman Farms;
- n)* Dexter Township shall not issue a Zoning Permit for the special event facility until the applicable conditions are satisfied;
- o)* The Chelsea Area Construction Agency shall review and approve building plans and inspect and approve of the building improvements;
- p)* The Washtenaw County Road Commission shall review and approve the new driveway and inspect and approve of the driveway.

Resolution offered by Planning Commissioner Ehman.

Resolution supported by Planning Commissioner Ruhlig.

YES = 6 (Adams, Ehman, Nester, Lewis, Ruhlig, Tappe)

NO = 0 (None)

ABSENT = 1 (Maciejewski)

The Chair declared the resolution ADOPTED.

Date: 23 April 2013

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Tom Lewis, Chair

Date

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Mary Adams, Secretary

Date

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November 15, 2023

Megan Masson-Minock, AICP  
Planning and Zoning Department  
Dexter Township  
6880 Dexter-Pinckney Road  
Dexter, MI 48130

RE: 8540 Island Lake Road – Cornman Farms  
Preliminary Site Plan Review #1  
OHM Job#: 0027-23-1000

Dear Ms. Masson-Minock:

We have completed the preliminary site plan review for the above referenced project. The plans were prepared by Stonefield Engineering and Design with a plan date of October 30, 2023. The plans were reviewed with respect to Dexter Township Ordinances.

### **GENERAL INFORMATION**

Property Owner: Tabitha Mason, Corn Man, LLC  
Property Address: 8540 Island Lake Road, Dexter Township, MI 48130  
Revision Date: October 30, 2023  
Location: North of Island Lake Road and west of Dexter Pinckney Road  
Action Requested: Preliminary Site Plan Review

### **PROJECT AND SITE DESCRIPTION**

This project consists of six renovations to the existing Zingerman's Corman Farms, an event space in Dexter Township. The project proposes an enclosed walkway from the farmhouse to the red barn, an addition to the red barn, a pavilion and patio, a garden amphitheater, a covered walkway from the traffic circle to the red barn, and a renovation of existing interior storage space in the red barn.

Storm sewer is proposed to capture runoff and route it to an existing basin at the southwestern portion of the event venue. Existing storm water management infrastructure consists of two (2) culverts under the driveway and parking area and one (1) outlet control structure in the existing basin. Existing sanitary sewer will be impacted by the proposed improvements on-site. The applicant proposes to install a new sanitary sewer alignment and connect to the existing septic field.



At this time, we offer the following comments for the applicant to address. We defer to the Planning Commission whether the following items can be dealt with administratively or if the Planning Commission would like to see a second review prior to approval. Preliminary detailed engineering comments have also been provided for the applicant's benefit to aid in the preparation of the detailed engineering drawings, but do not significantly affect the overall site plan layout.

### **SITE PLAN REVIEW COMMENTS**

1. Provide the location of existing water mains, service lines, and wells (if present) to verify appropriate distance between existing and proposed utilities.
2. The topographic survey sheets shall be signed and sealed by a Professional Surveyor licensed to perform work in the State of Michigan.
3. This office defers to the Dexter Area Fire Department (DAFD) regarding adherence to the International Fire Code and Township Standards for fire protection.

### **PRELIMINARY DETAILED ENGINEERING COMMENTS**

The following comments should be addressed by the applicant during the detailed engineering drawing submittal, but do not affect the recommendation for approval to the Planning Commission.

1. Geotechnical investigation data should be provided to our office.
2. Spot elevations shall be provided at all four (4) corners of all proposed ramps/level landings and at 50' intervals along proposed walkways. The cross-slope shall not exceed 2%, per ADA Standards.
3. Specify the pipe material for the proposed sanitary line.
4. Clarify whether roof drains will be used to direct flow to catch basins.
5. Delineate the boundaries of the drainage areas for each catch basin.
6. Provide stormwater calculations for:
  - a. the volume of the first flush (first 1" of rainfall)
  - b. the conveyance of the pipes (pipe capacity, flow, velocity)
7. Provide the storage volume of the existing basin.
8. If infiltration is proposed, provide the infiltration rate and infiltration area for the basin.
9. The minimum depth for enclosed drains is 42", measured from the grade to the spring line of the pipe. Please revise as needed.
10. A minimum drop of 0.1 feet should be incorporated where inflow and outflow pipes of the same diameter meet at a structure.
11. Provide the diameter/size for each stormwater structure and a standard detail.
12. Provide a long-term maintenance plan that designates a responsible party for each task.

### **REQUIRED PERMITS & APPROVALS**

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and this office.

- The Washtenaw County Health Department may require review and approval prior to construction.
- The Chelsea Area Construction Agency will require review and approval prior to construction.
- The Dexter Area Fire Department will require review and approval prior to construction.
- Other permits/approvals/etc. may be required.



The applicant is advised that review and approval of detailed engineering plans is required prior to start of construction. It is noted that additional comments may be generated from information presented in future submittals. If you have any questions, please contact us at (734) 466-4506.

Sincerely,  
OHM Advisors

Rachel Jackson, P.E.

M.C. Moritz, E.I.T.

cc: Karen Sikkenga, Township Supervisor  
Michelle Stamboulellis, Township Clerk  
Ashely Cepeda, Township Zoning Officer  
Bradley DeVries, A.I.A., Slowtide Studio, 1145 W Long Lake Road, Suite 110, Bloomfield Hills, MI 42302  
Mitch Harvey, Stonefield Engineering & Design, 607 Shelby Suite 200, Detroit, MI 48226

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November 7, 2023

From: Amber Han, Owner, Park Avenue Salon

To: Tabitha Mason, Managing Partner at Cornman Farms

As a resident in the vicinity of Cornman Farms, I have had the privilege of witnessing the positive impact the farm has had on our community. Their events have always been well-organized and respectful of the surrounding environment, but I understand that the noise and traffic associated with outdoor tent events can be a concern for some.

I wholeheartedly support Cornman Farms' vision for these transformations and believe that the transition to smaller, more intimate events will further foster a sense of community among residents and visitors alike.

I encourage the Planning Commission to approve these changes and support the ongoing efforts of Cornman Farms to be a responsible and considerate neighbor. These changes will not only benefit the farm but also ensure that it continues to be a valuable asset to our community. We are confident that this shift will contribute to a more enjoyable and peaceful atmosphere for everyone living nearby.

Amber Han

Dexter Township Office  
6880 Dexter-Pinckney Road  
Dexter, MI. 48130

November 13, 2023

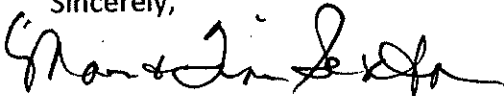
To Whom It May Concern:

My husband and I are relatively new residents of Dexter Township and we live on Island Lake Road. We were recently made aware of some changes that may be happening at Cornman Farms down the road from us. From what we have heard, Tabitha and Kieron were planning on making the events space in a smaller footprint, which would allow for less people to attend, as well as adjusting the start and end times to make them end a little earlier than what was previously offered.

As nearby residents, we would welcome the change wholeheartedly as they would alleviate traffic in the area as well as some late night noise in what is typically a quiet country-like atmosphere and one of the main reasons that we moved to the area from Livonia.

Please consider the change to Cornman Farms for the benefit of the residents who live nearby and travel the area daily.

Sincerely,

A handwritten signature in black ink, appearing to read "Marion & Tim Sexton". The signature is fluid and cursive, with the names joined together.

Marion and Tim Sexton

Dexter Township Office  
6880 Dexter-Pinckney Road  
Dexter, MI. 48130

November 13, 2023

To Whom It May Concern:

My husband and I are relatively new residents of Dexter Township and we live on Island Lake Road. We were recently made aware of some changes that may be happening at Cornman Farms down the road from us. From what we have heard, Tabitha and Kieron were planning on making the events space in a smaller footprint, which would allow for less people to attend, as well as adjusting the start and end times to make them end a little earlier than what was previously offered.

As nearby residents, we would welcome the change wholeheartedly as they would alleviate traffic in the area as well as some late night noise in what is typically a quiet country-like atmosphere and one of the main reasons that we moved to the area from Livonia.

Please consider the change to Cornman Farms for the benefit of the residents who live nearby and travel the area daily.

Sincerely,

Marion and Tim Sexton



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

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**TO:** Dexter Township Planning Commission

**FROM:** Megan Masson-Minock, AICP, Principal  
Anna Wysocki, Community Planner

**DATE:** November 20, 2023

**RE:** Zoning Audit Report

**Executive Summary**

The following Zoning Audit Report covers the following subject areas: recommendations from the Master Plan, recommendations from recent Township staff, and a review of Zoning Permit Requirements. In each section, we provide the citation in the Zoning Ordinance, the recommendation, and, if applicable, specific recommendation from CWA.

This report was drafted with the assumption that Zoning Ordinance amendments will be drafted and adopted in multiple phases, with an initial phase at the beginning of 2024. The amendments in the initial phase would be simple to draft, need little to no public engagement, and are necessary to improve the functioning of the Township.

As you read the draft report, please think about the following:

- Which items are not controversial and can be adopted in the following year?
- Which items need more discussion?
- Are any items missing?

**Recommendations from the Master Plan**

Dexter Township is currently updating its Master Plan. As part of this process, the Township has decided that “no new or modified zoning districts (are) needed to accomplish the implementation of the future land use map.” The Master Plan does, however, provide the following recommendations to achieve the Township’s future land use goals:

Citation	Master Plan Recommendation	CWA Recommendation
Article 5, Agricultural District	Add agri-tourism to the permitted uses, which may include barn weddings, on-farm markets, corn mazes, wine tastings, on-farm demonstrations, and pumpkin patches.	As part of developing these regulations, local farmers and the general public should be consulted.
Article 14, Planned Unit Development	Include a provision for the transfer of development rights (TDR) that specifically allows the transfer of the right to develop housing from the core agricultural zone (sending zone) to the moderately developed “receiving” zone.	The sending and receiving zones should be developed based on clear parameters and then mapped accordingly. In developing zones, the Farmland and Open Space Preservation Board and the public should be consulted.
Article 16, General Provisions	Include a section on personal scale renewable energy, including but not limited to residential solar, wind, and geothermal facilities.	We recommend a workshop with the Planning Commission and other stakeholders to examine options and then draft regulations.
Article 16, General Provisions	Include the use of electrical vehicle charging stations in public facilities, parks, and commercial businesses.	The Township could allow for charging stations, require charging station infrastructure or stations themselves be installed. If the Planning felt these additions would not be controversial, these amendments could occur in early 2024.
Section 17.02(D), Accessory Dwelling Standards	Add language prohibiting the use of accessory dwelling units (ADUs) as short-term rentals (STRs).	Unless the Planning Commission felt this change would be controversial, this amendment could be included in the initial phase of amendments.
Section 23.06(C), Wetland Setbacks	Increase the required setback from a wetland to 25 feet, to decrease the infiltration of pollutants. Previous Township staff have also recommended this change.	Unless the Planning Commission felt this change would be controversial, this amendment could be included in the initial phase of amendments.

### Text Amendments Recommended by Township Staff and Consultants

Township staff and consultants over the past summer kept a list of the recommendations in the table below:

Citation	Staff Recommendation	CWA Recommendation
Section 2.02(S)	Consider adding a definition for “improvement” or remove from the definition of setback.  For consistent interpretation, setbacks need should be described in specific terms.	Appropriate for the first phase. We recommend that the definition be rewritten to require unobstructed space from the building line to the lot.
Section 2.02(S) and throughout	Consider adding language stating the purpose or intent of setbacks (under <i>Definitions</i> or under each zoning district category).  For some, setback requirements lack clarity when they apply to minor structures such as patios.	Appropriate for the first phase. We recommend that specifications be added to the regulations rather than the definitions.
Section 2.02(S)33-35	Replace the definition of “Structure” with the definition of “Structure, Permanent.” Define accordingly.  Existing definitions for Building and Structure are conflicting. Buildings are defined as structures (permanent) but can be temporary.	Appropriate for the first phase
Article 4	Change “Schedule of Regulations” to “Schedule of Land Uses” or “Uses Permitted by District.”  The existing chart title does not accurately describe the chart content.	Appropriate for the first phase
Sections 5.02 6.02 7.02 8.02	Amend the setback requirements under residential districts to include language about common residential structures (e.g., patios).  For some, setback requirements lack clarity when they apply to minor structures such as patios.	Appropriate for the first phase.
Section 16.11(F) Accessory Buildings 200 sf or less on lots 1 acre or more	Simplify the language in this section.	Appropriate for the first phase. We recommend incorporating these provisions into Section 16.11(B).

Citation	Staff Recommendation	CWA Recommendation
Section 16.17(C)1	<p>Amend fencing requirements for outdoor pools to allow an exception for pools with lockable covers and power safety covers.</p> <p>Section 3109 of the MI Building Code refers to Section 305 of the International Swimming Pools and Spa Code, which says, "exceptions allow for spas and hot tubs with lockable covers complying with ASTM F1346 and pools with power safety covers complying with ASTM F1346 to not require barriers."</p>	Appropriate for the first phase.
Section 16.30 Parking, Repair, and Storage of Vehicles	Add setbacks for storage of watercraft and trailers in side and rear yards.	<p>Appropriate for first phase.</p> <p>We recommend that items 1 and 2 be renamed "Yard Storage in ..." and specify setback in the front, side and rear yards for the zoning districts."</p>
Article 25 Permits and Approvals	<p>Revise permit process for generators so that it is clear and can be interpreted consistently.</p> <p>Generator applications have been processed as both a major and minor permit. The Zoning Ordinance does not distinguish between major and minor permits.</p>	<p>Appropriate for first phase.</p> <p>See section below for more recommendations on zoning permits</p>
Section 27.06(D)	<p>Remove the requirement to hold a public hearing for PC site plan reviews.</p> <p>This is not required by the MZEA. The public is still welcome to attend review meetings.</p>	Appropriate for the first phase
Section 27.07(C)1	<p>Remove this entire clause, which requires administrator to notify interested members of the public about administrative site plan review.</p> <p>Th requirement is inconsistent with the purpose of administrative review.</p> <p>It would be more appropriate for the Zoning Administrator to be required to notify the Planning Commission in writing.</p>	This amendment should be prioritized in the first phase. It is not consistent with the MI Zoning Enabling Act.
Section 29.05(G)2	<p>Incorporate certification on the day of the meeting as an option upfront in ZBA process.</p> <p>Expedite the ZBA permit process.</p>	Appropriate for the first phase.

Citation	Staff Recommendation	CWA Recommendation
Section 29.06(C)4	<p>Change the heading of this clause, “Reasonable amount.”</p> <p>The clause goes on to say, “The variance shall be the minimum amount necessary to mitigate the practical difficulty.” Found to be inconsistent by David Rohr.</p>	<p>This amendment has been before the Planning Commission for consideration and should be adopted as soon as possible.</p>
Section 2.02(S), 34	<p>Update the definition of structure, accessory to account for the allowance of an accessory structure on an adjacent lot under the same ownership.</p>	<p>We recommend further discussion. The use of a "zoning lot" provision, which treats lots under the same ownership as a single lot may be an option.</p>
Section 15.07	<p>Amend the development standards for the Open Space Community Overlay District.</p> <p>The standards conflict with the intent of the underlying districts.</p>	<p>We recommend the Planning Commission review Section 15.07(B) Not Open Space and decide if amendments are needed.</p>
Section 17.02 (A)1	<p>Consider reducing the minimum floor area for single-family homes. The current minimum is 1000 SF plus 100 SF per bedroom.</p> <p>Reasons to reduce the minimum floor area are:</p> <ul style="list-style-type: none"> <li>• A resident inquired about building an 850 SF house</li> <li>• Smaller homes are more energy efficient</li> <li>• Family size is decreasing.</li> </ul>	<p>We recommend hosting a workshop and discussing this item further through community engagement.</p>
Section 23.06 (B), Wetland Delineation	<p>Make expressly clear when a wetland delineation is required to be provided by the applicant.</p>	<p>A more in-depth analysis of the wetland requirements in the Zoning Ordinance would be needed to update this section.</p>
Proposed	<p>Draft and adopt a stand-alone ordinance preventing wake boats.</p> <p>The Township has discussed the detrimental impact of wakes on lake beds. Recommended by environmental protection agencies.</p>	<p>We recommend additional study and stakeholder engagement.</p>

### Zoning Permit Requirements

Table 25.1 of the Zoning Ordinance lists construction activities that require a zoning permit, in addition to some that do not require a permit. We recommend removing several items from Table 25.1 for the following reasons:

- A zoning permit is not required.
- We have been advised by the Chelsea Area Construction Agency that a zoning permit is not necessary.
- We find the permit requirement to be overly burdensome, or
- There is no corresponding regulation in the Zoning Ordinance to support the requirement.

The table below lists our recommendations for items that should and should not require a permit:

<b>Recommended for Removal from Table 25.1</b> (no permit required)	<b>Recommended to Remain in Table 25.1</b> (permit required)
Driveway or sidewalk, pervious	Building, accessory
Fence, agricultural	Building, addition
Flagpole, 27 feet high or less. <sup>1</sup>	Building, new
Hunting Blind	Building, temporary
Play equipment, single-family or two-family	Commercial use, new
Remodel, mechanical improvements, such as electrical, plumbing, furnace	Deck, porch, patio
Satellite dish, antenna, ham radio	Driveway or Sidewalk, Impervious
Sign, temporary	Fence or retaining wall
Bus stop shelter	Group day care home or group foster care home
Generator or heat pump	Home occupation
Remodel, exterior – no increase to the building coverage, such as reroofing, siding, windows, and doors	Outdoor furnace
Remodel, interior – structural changes but no increase of building coverage	Propane tank – more than 100-gallon capacity
Sign, temporary	Play equipment, multiple-unit or other
--	Pool or hot tub

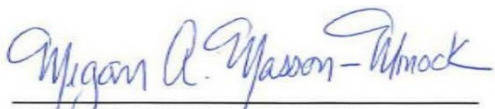
Recommended for Removal from Table 25.1 (no permit required)	Recommended to Remain in Table 25.1 (permit required)
--	Roadside stand
--	Sign, permanent
--	Special event
--	Temporary Use

<sup>1</sup>Instead of requiring permits for taller flagpoles, we recommend adding “all exterior lighting in non-residential districts,” to Table 25.1. This will include flagpole lighting. Residential districts are exempt from outdoor lighting regulations.

### Next Steps

The next step is to define which amendments the Planning Commission wishes to pursue and which to prioritize. At your meeting on Tuesday, November 28<sup>th</sup>, we would like to begin that process, with the goal of recommending a first wave of Zoning Ordinance amendments to the Township Board in February 2024.

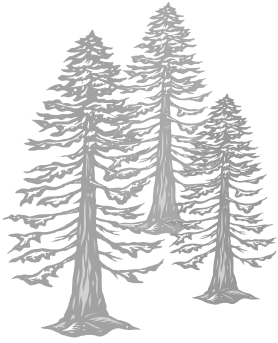
Respectfully submitted,



CARLISLE/WORTMAN ASSOC., INC  
Megan Masson-Minock, AICP  
Principal



CARLISLE WORTMAN ASSOC., INC.  
Anna Wysocki  
Community Planner



# DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD

DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

*"A Community For All Seasons"*

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## MEMORANDUM

**To:** Dexter Planning Commission

**From:** Megan Masson-Minock, Township Planning Consultant

**Subject:** Draft Zoning Amendment to update Dimensional Variance Standards

**Date:** November 20, 2023

---

At its September 26, 2023 meeting, the Planning Commission discussed possible amendments to Section 29.06(C)(4) which is the criteria for the Zoning Board of Appeals to make decision on variances. When looking at case law and [resources from Michigan State University Extension](#), the test is whether variance is the minimum necessary to provide substantial justice to the applicant. Therefore, it is critical that the word "minimum" be kept, as opposed to reasonable. A draft Zoning Ordinance amendment is attached for your consideration.

At your upcoming meeting, we would like you to review the draft ordinance, provide direction for any changes, and then authorize review by the Township Attorney of the proposed zoning ordinance amendment.

ORDINANCE NO. \_\_\_\_\_

An ordinance to amend relevant portions of Section 29.06 to clarify the standards for granting variances.

IT IS HEREBY ORDAINED BY THE PEOPLE OF THE TOWNSHIP OF DEXTER:

SECTION 1. AMEND SECTION 29.06: VARIANCES, SUB-SECTION C: DECISION CRITERIA

(C) **Decision Criteria:** The Zoning Board of Appeals shall have the power to authorize specific variances from the developmental standards of this Ordinance if it finds, following a public hearing, that all the following are true:

- 1) *Practical Difficulty:* The strict application of the terms of this Ordinance would constitute a practical difficulty.
- 2) *Peculiar Physical Condition:* The practical difficulty is due to some physical condition peculiar to the property involved.
- 3) *Self-created:* The practical difficulty is not self-created.
- 4) ~~Reasonable~~ **Minimum** Amount: The variance is the minimum amount necessary to **reasonably** mitigate the practical difficulty.
- 5) *Health, Safety, and Welfare:* Approval of the variance will not be injurious to the public health, safety, and welfare.
- 6) *Adjacent Properties:* Approval of the variance will not affect the use of the adjacent properties or the area in a substantially adverse manner; and
- 7) *Intent and Purpose:* Approval of the variance is consistent with the intent and purpose of this Ordinance.

SECTION 2. SEVERABILITY: The provisions of this Ordinance are hereby declared to be severable and if any provision, section or part of this Ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall only affect the particular provisions, section or part involved in such decision and shall not affect or invalidate the remainder of such Ordinance, which shall continue in full force and effect.

SECTION 3. PUBLICATION: This ordinance shall be published in a newspaper of general circulation as required by law.

SECTION 4. EFFECTIVE DATE: This Ordinance shall become effective seven (7) days after its publication following final adoption or as required by law.

SECTION 5. REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

I, <insert>, Clerk of the Dexter Township, County of Washtenaw, State of Michigan hereby certify adoption of Ordinance No. 2024-\_\_ by the Sharon Township Board of Trustees assembled at a Regular Meeting held on \_\_\_\_\_.

The motion to approve was made by member \_\_\_\_\_ and seconded by \_\_\_\_\_

YES: \_\_\_\_\_

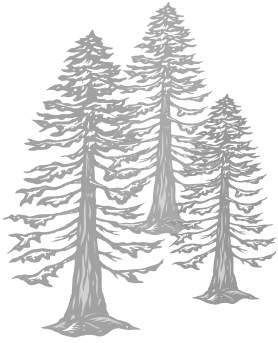
ABSENT: \_\_\_\_\_

NO: None. \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

\_\_\_\_\_  
Clerk Dexter Township

Published: \_\_\_\_\_



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*"A Community For All Seasons"*

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## MEMORANDUM

**To:** Dexter Township Board

**From:** Megan Masson-Minock, Township Planning Consultant  
Ashley Cepeda, Township Zoning Officer

**Subject:** Planning and Zoning Department Report (October 2023)

**Date:** November 8, 2023

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The following Planning and Zoning Department report to the Dexter Township Board provides an update on ongoing planning and zoning cases, ordinance amendments, and department activities. The staff is excited to report on the progress of existing development projects that have been reviewed by the PC, cases reviewed by the ZBA, and other duties, such as, zoning administration, ordinance review and future amendments, zoning permits, etc.

The following report will cover activities that have occurred **October 2023**, as well as an update on past projects:

- Planning Activities, including a summary of applications with the Planning Commission, Zoning Board of Appeals and/or Township Board.
- Zoning Administration, including zoning permits and projects that do not require Planning Commission review and approval.
- Zoning Ordinance, including summary and status of ordinance amendments.
- Planning and Zoning Department, including permits issued.
- Master Plan Update, including the status of Master Plan adoption.
- Other Community Development Projects

Please let us know how this report can be improved. The Planning and Zoning Department will share an updated report with the Township Board on a monthly basis.

### Planning Activities – PC, ZBA, Approved Projects

#### Planning Commission – Site Plan, Special Land Use, Rezoning

Name of Project	Location	Current Status and Progress
Cornman Farms Site Plan & Special Land use	8540 Island Lake Road	The applicant submitted a special land, preliminary site plan, and variance request for the replacement of the tent at this special event facility with a building addition of a pavilion, the enclosure of a walkway, interior remodels of buildings on-site and the addition of an amphitheater. The additional buildings necessitate an amendment to the existing site and plan and special land use. A Planning Commission public hearing is scheduled for November 28, 2023.

#### Zoning Board of Appeals – Variance (PBA), Interpretation, Appeal of Admin Decision

Type of Request	Location	Current Status and Progress
Variance from rear yard setback	4815 Dexter-Pinkney Road	Approved for a variance at the October 3, 2023 Zoning Board of Appeals meeting. Minutes approved at November 7, 2023 Zoning Board of Appeals meeting and permits can be issued.
Variance from building coverage	8540 Island Lake Road	The proposed amendment to the special event venue's site plan and special land use, described above, exceeds the maximum building coverage. The case is scheduled to be heard at the December 5, 2023 Zoning Board of Appeals meeting.

#### Approved Projects

Name of Project	Location	Current Status and Progress
Hillside Acres	Southwest corner of N. Territorial and Dexter Townhall	A pre-construction meeting with OHM has occurred and the sanitary and sewer infrastructure is under construction. Housing construction is expected to begin in spring of 2024.
Nature's Preserve		Site plan for 28 homes was approved in 2016. The applicant has yet to meet the criteria for a pre-construction meeting. Planning & Zoning staff will research the site plan status in November.

Zoning Ordinance (Adopted and Proposed)	
Adopted Amendment	Summary
	None
Proposed Amendment	Current Status and Progress
Section 29.06(C)(4) "Reasonable" versus "Minimum"	<p>The ZBA has requested the change from "reasonable" to "minimum" in this standard for a variance review to be reviewed. They would like direction/guidance on how to implement that language.</p> <p>At their September 26, 2023 meeting, the Planning Commission reviewed this matter and has asked the Planning Consultant to review this matter and develop a plan to address this concern.</p>

Zoning Permits		
Permits Issued	October	2023 YTD
Zoning Minor	13	123
Zoning Major	7	73
Sign	0	1
Temporary	0	2
<b>TOTAL</b>	20	199

Master Plan Update
<p>The draft Master Plan was reviewed by adjacent communities over the summer. At the Planning Commission on October 24, 2023, the Planning Commission reviewed with Beckett &amp; Raeder a summary of the public comment received and their recommendations.</p> <p>The Planning Commission is scheduled to have a public hearing on the draft Master Plan at their upcoming meeting on November 28, 2023. After the public hearing, the Planning Commission can recommend approval of the Master Plan to the Township Board.</p>

Other Planning and Zoning Projects	
Zoning Ordinance Audit	Carlisle Wortman Associates (CWA) is conducting an audit of the Zoning Ordinance based on suggestions from previous staff and best planning principles. The report will be presented to the Planning Commission at their upcoming November 28, 2023 meeting.

Have a safe and happy month!