



DEXTER TOWNSHIP

PLANNING COMMISSION

6880 DEXTER-PINCKNEY ROAD

DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

PLANNING COMMISSION MEETING AGENDA

January 23, 2023

6:00 PM

1. Call to Order

2. Pledge of Allegiance

3. Conflict of Interest Review (*Possible conflicts with agenda items*)

4. Approval of Agenda

5. Public Comment (*Comment on items that are not on the agenda. The Board will entertain public comments on agenda items as they come up for discussion.*)

6. Public Hearings

A. *Public hearing to amend the decision criteria for variances in Article 29, Section 29.06(C) of the Zoning Ordinance.*

B. *Public hearing to amend Table 16.3 in Article 16, Section of the Zoning Ordinance to increase the building coverage on parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District to 2%.*

7. Action Items

A. *Election of Chair, Vice-Chair, Secretary, and recommendation to the Township Board of the Planning Commission Representative to the Zoning Board of Appeals.*

B. *Recommendation to Township Board on proposed Zoning Ordinance amendment to Article 29, Section 29.06(C) to amend decision criteria for variances.*

C. *Recommendation to Township Board on proposed Zoning Ordinance amendment*

to amend Table 16.3 in Article 16, Section of the Zoning Ordinance to increase the building coverage on parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District to 2%.

D. FSP24-PC-001: Final site plan for Cornman, LLC, Special Event Facility

8. Discussion Items

A. Zoning Amendments

9. Approval of Planning Commission Minutes – November 28, 2023

10. Township Board of Trustees Update

11. Concerns of Planning Commission Members, Director of Planning & Zoning, Township Supervisor, & Recording Secretary

12. Public Comment (*non-agenda items*)

13. Future Agenda Items

14. Adjournment



DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

MEMORANDUM

To: Dexter Township Board

From: Megan Masson-Minock, Township Planning Consultant

Subject: Public hearing to amend the decision criteria for variances in Article 29, Section 29.06(C) of the Zoning Ordinance

Date: January 16, 2024

The proposed zoning text amendment to amend the decision criteria for variances in Article 29, Section 29.06(C) of the Zoning Ordinance is attached. The Zoning Board of Appeals asked the Planning Commission to revise this language. The Planning Commission examined language at its November 28, 2023 meeting, asked for changes, and directed staff to call a public hearing for the amendment for its January 23, 2024 meeting. The Township Attorney has since sent an analysis of the attached proposed zoning text amendment as privileged communication to both the Planning Commission and Zoning Board of Appeals.

The Zoning Board of Appeals discussed the proposed amendment at their January 9, 2024 meeting. They have proposed an alternative zoning ordinance text amendment, so that Section 29.06(C)(4) would read as follows. Strikeout text is language proposed to be deleted (~~example~~) and proposed text is in red and bold font (**example**).

4. Reasonable Amount: The variance is the ~~minimum~~ **reasonable** amount necessary to mitigate the practical difficulty.

The Planning Commission may make a favorable or unfavorable recommendation of the attached text amendment, the amendment proposed by the Zoning Board of Appeals, or a different version of the text amendment.

The decision criteria for a zoning text amendment, per Section 30.05(B) are:

- **Master Plan:** The zoning text amendment shall be compatible with the goals, policies, and future land use map of the Master Plan.
- **State and Federal Law:** The zoning text amendment shall be consistent with state and federal law.

Based on those standards, staff has prepared the following motions for the Planning Commission's consideration. Please note that per Section 30.05(C) that at least four (4) members of the Planning Commission must vote in the affirmative for a favorable recommendation.

Motion #1

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission makes a favorable recommendation of the proposed text amendment for Article 29, Section 29.06(C) of the Zoning Ordinance, specifically (PICK ONE: *text amendment attached, text amendment proposed by the Zoning Board of Appeals, text amendment drafted by the Planning Commission after the public hearing*), to the Township Board for the following reasons (select all that apply):

1. The zoning text amendment is not compatible with the goals and policies of the Master Plan.
2. The zoning text amendment is consistent with state and federal law.

Motion #2

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission makes an unfavorable recommendation of the proposed text amendment for Article 29, Section 29.06(C) of the Zoning Ordinance, specifically (PICK ONE: *text amendment attached, text amendment proposed by the Zoning Board of Appeals, text amendment drafted by the Planning Commission after the public hearing*), to the Township Board for the following reasons (select all that apply):

1. The zoning text amendment is not compatible with the goals and policies of the Master Plan.
2. The zoning text amendment is consistent with state and federal law.

Motion #3

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission postpones the proposed text amendment for Article 29, Section 29.06(C) of the Zoning Ordinance, specifically (PICK ONE: *text amendment attached, text amendment proposed by the Zoning Board of Appeals, text amendment drafted by the Planning Commission after the public hearing*), to (INSERT DATE) for the following reasons (select all that apply):

1. The zoning text amendment application does not contain enough information necessary to conduct a review.
2. Additional information is necessary.
3. Significant changes are necessary to receive approval.

ORDINANCE NO. _____

An ordinance to amend relevant portion of Article 29 to clarify standards for Zoning Board of Appeals variance decisions.

IT IS HEREBY ORDAINED BY THE PEOPLE OF THE TOWNSHIP OF DEXTER:

SECTION 1. AMEND SECTION 29.06(C)(4) TO READ AS FOLLOWS:

- 4) ~~Reasonable~~ **Minimum** Amount: The variance is the minimum amount necessary to **reasonably** mitigate the practical difficulty.

SECTION 2. SEVERABILITY: The provisions of this Ordinance are hereby declared to be severable and if any provision, section or part of this Ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall only affect the particular provisions, section or part involved in such decision and shall not affect or invalidate the remainder of such Ordinance, which shall continue in full force and effect.

SECTION 3. PUBLICATION: This ordinance shall be published in a newspaper of general circulation as required by law.

SECTION 4. EFFECTIVE DATE: This Ordinance shall become effective seven (7) days after its publication following final adoption or as required by law.

SECTION 5. REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

I, <insert>, Clerk of the Dexter Township, County of Washtenaw, State of Michigan hereby certify adoption of Ordinance No. 2024-____ by the Dexter Township Board of Trustees assembled at a Regular Meeting held on _____.

The motion to approve was made by member _____ and seconded by _____

YES: _____

ABSENT: _____

NO: None. _____

ABSTAIN: _____

Clerk Dexter Township

Published: _____



DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

MEMORANDUM

To: Dexter Township Board

From: Megan Masson-Minock, Township Planning Consultant

Subject: Public hearing to amend Table 16.3 of Section 16.12 of the Zoning Ordinance

Date: January 16, 2024

The proposed zoning text amendment to amend Table 16.3 in Section 16.12, Section of the Zoning Ordinance to increase the building coverage on parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District to 2%. The text amendment was initiated by the Township Supervisor and Township Planning Commission Chair after the building coverage variance for the Cornman Farms final site (FSP24-PC-001) was postponed by the Zoning Board of Appeals (ZBA) at their December 2, 2023 meeting.

The Supervisor and Planning Commission Chair, after consultation with staff, felt Table 16.2 treats larger parcels inadequately and unfairly, as shown by the limitation on the Cornman Farms site plan which had been approved in 2013 when the maximum lot coverage was 10% for that parcel. Staff drafted an amendment to limit building coverage on parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District to two percent (2%) rather than the current limit of 11,543 square feet and to delete the footnote for Table 16.2 which allows the Planning Commission to let an indoor riding arena on a lot five (5) acres or greater have a lot coverage of 20,000 square feet total lot coverage with a full site plan. Staff, per the direction of the Supervisor and Planning Commission Chair, published a public hearing notice for the zoning text amendment for the Planning Commission's meeting on January 23, 2024.

Staff chose two percent (2%) as it was the smallest percentage that would allow the Cornman Farms final site plan to legally proceed. The Planning Commission is not limited by the proposed two percent (2%) building coverage and could propose a different building coverage percentage. The previous Zoning Ordinance, specifically Ordinance No. 34 amended effective November 8, 2018, had a maximum lot coverage (equivalent of building coverage) of ten percent (10%) in the Rural Residential and Agricultural Zoning Districts and five percent (5%) in the Resource Conservation District.

For context, if Table 16.3 was expanded to two percent building coverage (2%) on parcels greater than ten (10) acres, Table 16.2 would read as follows:

Total Lot Area				Total Lot Area			
Acreage	Sq. Ft.	%	Sq. Ft.	Acreage	Sq. Ft.	%	Sq. Ft.
Less than 0.3 acres		-	1,300	5.2	226,512	5.10%	11,552
0.3	13,068	10.00%	1,307	5.3	230,868	5.04%	11,636
0.4	17,424	9.90%	1,725	5.4	235,224	4.98%	11,714
0.5	21,780	9.80%	2,134	5.5	239,580	4.92%	11,787
0.6	26,136	9.70%	2,535	5.6	243,936	4.86%	11,855
0.7	30,492	9.60%	2,927	5.7	248,292	4.80%	11,918
0.8	34,848	9.50%	3,311	5.8	252,648	4.74%	11,976
0.9	39,204	9.40%	3,685	5.9	257,004	4.68%	12,028
1	43,560	9.30%	4,051	6	261,360	4.62%	12,075
1.1	47,916	9.20%	4,408	6.1	265,716	4.56%	12,117
1.2	52,272	9.10%	4,757	6.2	270,072	4.50%	12,153
1.3	56,628	9.00%	5,097	6.3	274,428	4.44%	12,185
1.4	60,984	8.90%	5,428	6.4	278,784	4.38%	12,211
1.5	65,340	8.80%	5,750	6.5	283,140	4.32%	12,232
1.6	69,696	8.70%	6,064	6.6	287,496	4.26%	12,247
1.7	74,052	8.60%	6,368	6.7	291,852	4.20%	12,258
1.8	78,408	8.50%	6,665	6.8	296,208	4.14%	12,263
1.9	82,764	8.40%	6,952	6.9	300,564	4.08%	12,263
2	87,120	8.30%	7,231	7	304,920	4.02%	12,258
2.1	91,476	8.20%	7,501	7.1	309,276	3.96%	12,247
2.2	95,832	8.10%	7,762	7.2	313,632	3.90%	12,232
2.3	100,188	8.00%	8,015	7.3	317,988	3.84%	12,211
2.4	104,544	7.90%	8,259	7.4	322,344	3.78%	12,185
2.5	108,900	7.80%	8,494	7.5	326,700	3.72%	12,153
2.6	113,256	7.70%	8,721	7.6	331,056	3.66%	12,117
2.7	117,612	7.60%	8,939	7.7	335,412	3.60%	12,075
2.8	121,968	7.50%	9,148	7.8	339,768	3.54%	12,028
2.9	126,324	7.40%	9,348	7.9	344,124	3.48%	11,976
3	130,680	7.30%	9,540	8	348,480	3.42%	11,918
3.1	135,036	7.20%	9,723	8.1	352,836	3.36%	11,855
3.2	139,392	7.10%	9,897	8.2	357,192	3.30%	11,787
3.3	143,748	7.00%	10,062	8.3	361,548	3.24%	11,714
3.4	148,104	6.90%	10,219	8.4	365,904	3.18%	11,636
3.5	152,460	6.80%	10,367	8.5	370,260	3.12%	11,552
3.6	156,816	6.70%	10,507	8.6	374,616	3.06%	11,463
3.7	161,172	6.60%	10,637	8.7	378,972	3.00%	11,369
3.8	165,528	6.50%	10,759	8.8	383,328	2.94%	11,270

Total Lot Area				Total Lot Area			
Acreage	Sq. Ft.	%	Sq. Ft.	Acreage	Sq. Ft.	%	Sq. Ft.
3.9	169,884	6.40%	10,873	8.9	387,684	2.88%	11,165
4	174,240	6.30%	10,977	9	392,040	2.82%	11,056
4.1	178,596	6.20%	11,073	9.1	396,396	2.76%	10,941
4.2	182,952	6.10%	11,160	9.2	400,752	2.70%	10,820
4.3	187,308	6.00%	11,238	9.3	405,108	2.64%	10,695
4.4	191,664	5.90%	11,308	9.4	409,464	2.58%	10,564
4.5	196,020	5.80%	11,369	9.5	413,820	2.52%	10,428
4.6	200,376	5.70%	11,421	9.6	418,176	2.46%	10,287
4.7	204,732	5.60%	11,465	9.7	422,532	2.40%	10,141
4.8	209,088	5.50%	11,500	9.8	426,888	2.34%	9,989
4.9	213,444	5.40%	11,526	9.9	431,244	2.28%	9,832
5	217,800	5.30%	11,543	10	435,600	2.22%	9,670
5.1	222,156	5.20%	11,552	Over 10 acres		2.00%	-

At their meeting on January 9, 2024, the ZBA denied the variance for Cornman Farms as the application did not meet the standards for granting a variance. However, the ZBA did express support for amending the Zoning Ordinance to expand building lot coverage for parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District

The decision criteria for a zoning text amendment, per Section 30.05(B) are:

- **Master Plan:** The zoning text amendment shall be compatible with the goals, policies, and future land use map of the Master Plan.
- **State and Federal Law:** The zoning text amendment shall be consistent with state and federal law.

Based on those standards, staff has prepared the following motions for the Planning Commission's consideration. Please note that per Section 30.05(C) that at least four (4) members of the Planning Commission must vote in the affirmative for a favorable recommendation.

Motion #1

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission makes a favorable recommendation of the proposed text amendment for Article 16, Table 16.3 in Section 16.12 of the Zoning Ordinance, specifically (PICK ONE: *text amendment attached, text amendment drafted by the Planning Commission after the public hearing*) to the Township Board for the following reasons (select all that apply):

1. The zoning text amendment is not compatible with the goals and policies of the Master Plan.
2. The zoning text amendment is consistent with state and federal law.

Motion #2

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission makes an unfavorable recommendation of the proposed text amendment for Article 16, Table 16.3 in Section 16.12 of the Zoning Ordinance specifically (PICK ONE: *text amendment attached, text amendment drafted by the Planning Commission after the public hearing*) to the Township Board for the following reasons (select all that apply):

1. The zoning text amendment is not compatible with the goals and policies of the Master Plan.
2. The zoning text amendment is consistent with state and federal law.

Motion #3

Based on the information provided by staff and during the public hearing held on January 23, 2023, the Planning Commission postpones the proposed text amendment for Article 16, Table 16.3 in Section 16.12 of the Zoning Ordinance specifically (PICK ONE: *text amendment attached, text amendment drafted by the Planning Commission after the public hearing*) to (INSERT DATE) for the following reasons (select all that apply):

1. The zoning text amendment application does not contain enough information necessary to conduct a review.
2. Additional information is necessary.
3. Significant changes are necessary to receive approval.

ORDINANCE NO. _____

An ordinance to amend relevant portion of Article 16 to increase the building coverage on parcels greater than 5 acres, zoned Rural Residential or Recreation Conservation or residential uses in the Agricultural Zoning District to 2%.

IT IS HEREBY ORDAINED BY THE PEOPLE OF THE TOWNSHIP OF DEXTER:

SECTION 1. AMEND TABLE 16.3 IN SECTION 16.12 - BUILDING COVERAGE IN RR AND RC DISTRICTS AND FOR RESIDENTIAL USES IN THE AG DISTRICT, TO READ AS FOLLOWS:

Table 16.3: Building Size

TOTAL LOT AREA		MAX LOT COVERAGE FOR BUILDINGS	
ACREAGE	SQ. FT.	%	SQ. FT.
Less than 0.3 acres		–	1,300
0.3	13,068	10.0%	1,307
0.4	17,424	9.9%	1,725
0.5	21,780	9.8%	2,134
0.6	26,136	9.7%	2,535
0.7	30,492	9.6%	2,927
0.8	34,848	9.5%	3,311
0.9	39,204	9.4%	3,685
1.0	43,560	9.3%	4,051
1.1	47,916	9.2%	4,408
1.2	52,272	9.1%	4,757
1.3	56,628	9.0%	5,097
1.4	60,984	8.9%	5,428
1.5	65,340	8.8%	5,750
1.6	69,696	8.7%	6,064
1.7	74,052	8.6%	6,368
1.8	78,408	8.5%	6,665
1.9	82,764	8.4%	6,952
2.0	87,120	8.3%	7,231
2.1	91,476	8.2%	7,501
2.2	95,832	8.1%	7,762
2.3	100,188	8.0%	8,015
2.4	104,544	7.9%	8,259
2.5	108,900	7.8%	8,494
2.6	113,256	7.7%	8,721

TOTAL LOT AREA		MAX LOT COVERAGE FOR BUILDINGS	
ACREAGE	SQ. FT.	%	SQ. FT.
2.7	117,612	7.6%	8,939
2.8	121,968	7.5%	9,148
2.9	126,324	7.4%	9,348
3.0	130,680	7.3%	9,540
3.1	135,036	7.2%	9,723
3.2	139,392	7.1%	9,897
3.3	143,748	7.0%	10,062
3.4	148,104	6.9%	10,219
3.5	152,460	6.8%	10,367
3.6	156,816	6.7%	10,507
3.7	161,172	6.6%	10,637
3.8	165,528	6.5%	10,759
3.9	169,884	6.4%	10,873
4.0	174,240	6.3%	10,977
4.1	178,596	6.2%	11,073
4.2	182,952	6.1%	11,160
4.3	187,308	6.0%	11,238
4.4	191,664	5.9%	11,308
4.5	196,020	5.8%	11,369
4.6	200,376	5.7%	11,421
4.7	204,732	5.6%	11,465
4.8	209,088	5.5%	11,500
4.9	213,444	5.4%	11,526
5.0	217,800	5.3%	11,543
Greater than five (5) acres		2.0%	11,543*

* Planning Commission may permit up to 20,000 square feet total lot coverage on lots greater than five (5) acres for an indoor riding arena with full site plan.

SECTION 2. SEVERABILITY: The provisions of this Ordinance are hereby declared to be severable and if any provision, section or part of this Ordinance is declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall only affect the particular provisions, section or part involved in such decision and shall not affect or invalidate the remainder of such Ordinance, which shall continue in full force and effect.

SECTION 3. PUBLICATION: This ordinance shall be published in a newspaper of general circulation as required by law.

SECTION 4. EFFECTIVE DATE: This Ordinance shall become effective seven (7) days after its publication following final adoption or as required by law.

SECTION 5. REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

I, <insert>, Clerk of the Dexter Township, County of Washtenaw, State of Michigan hereby certify adoption of Ordinance No. 2024-____ by the Dexter Township Board of Trustees assembled at a Regular Meeting held on _____.

The motion to approve was made by member _____ and seconded by _____

YES: _____

ABSENT: _____

NO: None. _____

ABSTAIN: _____

Clerk Dexter Township

Published: _____

<div>1. DO NOT SCALE DRAWINGS. CONSULT OWNER IF DIMENSIONAL QUESTION ARISES.</div> <div>2. CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.</div> <div>3. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES/LAWS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.</div> <div>4. ALL DIMENSIONAL LUMBER, PLYWOOD, PARTICLE BOARD, FITTING, AND BLOCKING SHALL BE PRESSURE TREATED/UL CERTIFIED NON-COMBUSTIBLE.</div> <div>5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE.</div> <div>6. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENDING WORK OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.</div> <div>7. COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.</div> <div>8. WHERE INTERFACES DEVELOP, NOTIFY OWNER FOR RESOLUTION OF CONFLICT.</div> <div>9. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WORK ON ALL SHEETS WITHIN, NOT JUST SHEETS NAMED IN ACCORDANCE WITH TRADE NAME.</div> <div>10. ALL DRAWINGS WITHIN SET ARE SET ON ARCH D (24" X 36") PAPER.</div>		<div>CORNMAN FARMS</div> <div>8540 ISLAND LAKE ROAD - DEXTER - MICHIGAN - 48130</div> <div>FINAL SITE PLAN REVIEW DOCUMENTS</div> <div>12 - 08 - 2023</div>			
PROJECT NOTES12					
<div><div><div><div><div></div><div></div><div></div><div></div></div><div><div>12</div><div>9</div><div>6</div><div>3</div></div><div><div>11</div><div>8</div><div>5</div><div>2</div></div><div><div>10</div><div>7</div><div>4</div><div>1</div></div></div></div><div>USE THE SHEET INDEX GRID AS A REFERENCE TO LOCATE DRAWINGS ON INDIVIDUAL SHEETS WITHIN THE SET.</div></div>		<div>2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB)</div> <div>2015 MICHIGAN MECHANICAL CODE (MMC)</div> <div>2018 MICHIGAN PLUMBING CODE (MPC)</div> <div>2017 NATIONAL ELECTRIC CODE, WITH PART 8 AMENDMENTS (NEC)</div> <div>2013 STANDARD, ASHRAE 90.1</div> <div>2009 STANDARD, ANSI A117.1</div>	<div>ZINGERMAN'S CORNMAN FARMS IS A HISTORIC, MULTI-AWARD WINNING EVENT SPACE, WEDDING VENUE, AND CULINARY DESTINATION.</div> <div>THE EXISTING PROPERTY PROMINENTLY FEATURES A GREEK REVIVAL FARMHOUSE ORIGINALLY BUILT IN 1834. A HISTORIC RED BARN ORIGINAL CONSTRUCTED IN 1837. SEVERAL AGRICULTURAL BUILDINGS, EXTENSIVE GARDENS, AND PICTURESQUE VISTAS, ALL ON A WORKING FARM.</div> <div>THE PROPOSED SCOPE LOOKS TO RECONFIGURE AND ENHANCE THE EXISTING PROGRAM THROUGH SIX MAJOR ELEMENTS, ALONG WITH THE REQUISITE MINOR SCOPE TO CREATE A COHESIVE AND FUNCTIONAL END PRODUCT. THOSE SIX MAJOR ELEMENTS ARE AS FOLLOWS:</div> <div>1. AN ENCLOSED WALKWAY FROM THE FARMHOUSE TO THE RED BARN, ENCAPSULATING THE EXISTING SMOKER</div> <div>2. A NEW SERVICE FOCUSED ADDITION TO THE LOWER LEVEL OF THE RED BARN</div> <div>3. A NEW PAVILION AND PATIO TO THE SOUTHWEST OF THE RED BARN FOR YEAR-ROUND CEREMONIES</div> <div>4. A NEW GARDEN AMPITHEATRE TO THE WEST OF THE RED BARN FOR OUTDOOR CEREMONIES</div> <div>5. A NEW COVERING OVER THE EXISTING WALKWAY FROM THE TRAFFIC CIRCLE TO THE RED BARN</div> <div>6. CONVERSION OF A PORTION OF THE EXISTING STORAGE BARN TO A PRIVATE GROOM'S SUITE.</div> <div>THE SCOPE IS TO INCLUDE THE NECESSARY MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL UPGRADES, INCLUDING EXPANSION OF THE EXISTING STORMWATER RETENTION SYSTEM AND OTHER LANDSCAPING REQUIREMENTS. THE PROJECT WILL HAVE NO NEGATIVE IMPACTS ON THE ENVIRONMENT.</div> <div>THE PROPOSED SCOPE WILL NOT INCLUDE ANY MODIFICATIONS OR ADDITIONS TO THE EXISTING ACCESS DRIVES OR PARKING ACCOMMODATIONS.</div> <div>THE PROPOSED SCOPE WILL REQUIRE A VARIANCE TO INCREASE THE ALLOWABLE LOT COVERAGE PERCENTAGE OF BUILDINGS. THE REQUEST WILL INCLUDE ADDITIONAL SQUARE FOOTAGE TO ACCOMMODATE FUTURE EXPANSION.</div> <div>AT THIS TIME, IT IS PROPOSED THAT CONSTRUCTION WILL TAKE PLACE IN THE SPRING OF 2024 AND WILL BE COMPLETED IN A SINGLE PHASE OVER A 12 MONTH PERIOD.</div>	<div>G- 0.01 TITLE SHEET</div> <div>G- 0.02 GENERAL NOTES</div> <div>G- 0.03 CODE & ORDINANCE REVIEW</div> <div>G- 0.05 SCHEDULES - PROJECT</div> <div>C- 1.01 PROPOSED SITE PLAN - OVERALL, ARCHITECTURAL</div> <div>C- 1.02 PROPOSED SITE PLAN - SCOPE, ARCHITECTURAL</div> <div>C-1 COVER SHEET (STONEFIELD ENGINEERING)</div> <div>C-2 OVERALL SITE PLAN (STONEFIELD ENGINEERING)</div> <div>C-3 DEMOLITION PLAN (STONEFIELD ENGINEERING)</div> <div>C-4 SITE PLAN (STONEFIELD ENGINEERING)</div> <div>C-5 GRADING PLAN (STONEFIELD ENGINEERING)</div> <div>C-6 STORMWATER MANAGEMENT & UTILITY PLAN</div> <div>C-7 STORMWATER CALCULATIONS PAGE (STONEFIELD ENGINEERING)</div> <div>C-8 LANDSCAPING PLAN (STONEFIELD ENGINEERING)</div> <div>C-9 CONSTRUCTION DETAILS (STONEFIELD ENGINEERING)</div> <div>C-10 ALTA / NSPS LAND TITLE SURVEY, 1 OF 4 (KEM-TEC)</div> <div>C-11 ALTA / NSPS LAND TITLE SURVEY, 2 OF 4 (KEM-TEC)</div> <div>C-12 ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)</div> <div>C-13 ALTA / NSPS LAND TITLE SURVEY, 3 OF 4 (KEM-TEC)</div> <div>C-14 2013 GRADING & UTILITY PLAN (ATWELL)</div> <div>C-15 2013 STORMWATER MANAGEMENT PLAN (ATWELL)</div> <div>A- 1.00 FLOOR PLAN - LOWER LEVEL</div> <div>A- 1.01 FLOOR PLAN - FIRST FLOOR</div> <div>A- 1.02 FLOOR PLAN - SECOND FLOOR & BASEMENT</div> <div>A- 1.40 ROOF PLAN</div> <div>A- 2.01 ELEVATIONS - EXTERIOR</div> <div>A- 2.02 ELEVATIONS - EXTERIOR</div> <div>A- 2.03 ELEVATIONS - EXTERIOR</div> <div>ES- 101 ELECTRICAL SITE PLAN (WPF ENGINEERING)</div> <div>ES- 102 ELECTRICAL SITE FIXTURES (WPF ENGINEERING)</div>	
SHEET INDEX11		APPLICABLE CODES8		PROJECT DESCRIPTION5	
<div>ARCHITECT</div> <div>SLOWTIDE.STUDIO, ARCHITECTS 1145 W. LONG LAKE ROAD, SUITE 110 BLOOMFIELD HILLS - MICHIGAN - 48302</div> <div>CONTACT - BRADLEY DEVRIES T - 248 - 891 - 2737 E - BDV @ SLOWTIDE.STUDIO</div> <div>PROPERTY OWNER</div> <div>CORN MAN, LLC 8540 ISLAND LAKE ROAD DEXTER TOWNSHIP - MICHIGAN - 48130</div> <div>CONTACT - TABITHA MASON T - 989 - 284 - 1139 E - TMASON @ ZINGERMANS.COM</div> <div>GENERAL CONTRACTOR</div> <div>BLOOM GC 25601 M-102 REDFORD CHARTER TOWNSHIP - MICHIGAN 48240</div> <div>CONTACT - JOSH BLOOM T - 734-646-5620 E - JOSH @ BLOOMGC.COM</div> <div>SURVEYOR</div> <div>KEM-TEC 22556 GRATIOT AVENUE EASTPOINTE - MICHIGAN - 48021</div> <div>CONTACT - RENATA GARBARINO T - 586 - 772 - 2222 E - RGARBARINO @ KEMTEC-SURVEY.COM</div> <div>STRUCTURAL ENGINEER</div> <div>WAGNER ENGINEERING, LLC 210 N MILL STREET PLYMOUTH - MICHIGAN - 48170</div> <div>CONTACT - ADAM WAGNER T - 734 - 392 - 7034 E - ADAM @ WAGNERENGINEERING.COM</div> <div>CIVIL ENGINEER</div> <div>STONEFIELD ENGINEERING 607 SHELBY STREET, SUITE 200 DETROIT - MICHIGAN - 48226</div> <div>CONTACT - MICHAEL GOLD T - 949 - 350 - 0508 E - MGOLD@STONEFIELDENG.COM</div> <div>MECHANICAL / PLUMBING ENGINEER</div> <div>GREENPATH DESIGN 139 W. LIBERTY STREET PLYMOUTH - MICHIGAN - 48170</div> <div>CONTACT - KELLY SUGG T - 248 - 310 - 7286 E - KSUGG @ GREENPATH.DESIGN</div> <div>ELECTRICAL ENGINEER</div> <div>WPF ENGINEERING, LLC 8200 PEACHTREE AVENUE ROCKFORD - MICHIGAN - 49341</div> <div>CONTACT - MIKE JOHNSON T - 616 - 835 - 0459 E - MJJOHNSON @ WPF-ENGINEERING.COM</div>		<div>PROPERTY INFORMATION:</div> <div>PARCEL 1 (SUBJECT)</div> <div>ADDRESS 8540 ISLAND LAKE ROAD, DEXTER TOWNSHIP</div> <div>PARCEL ID 04-36-400-002</div> <div>ZONING RURAL RESIDENTIAL</div> <div>LOT AREA 972,527 SF, 22.32 ACRES</div> <div>PARCEL 2 (SUPPLEMENTARY)</div> <div>ADDRESS 8510 ISLAND LAKE ROAD, WEBSTER TOWNSHIP</div> <div>PARCEL ID 03-31-300-003</div> <div>ZONING R-1 RURAL RESIDENTIAL</div> <div>LOT AREA 37,808 SF, 0.86 ACRES</div> <div>PARCEL 3 (SUPPLEMENTARY)</div> <div>ADDRESS 8474 ISLAND LAKE ROAD, WEBSTER TOWNSHIP</div> <div>PARCEL ID 03-31-300-011</div> <div>ZONING R-1 RURAL RESIDENTIAL</div> <div>LOT AREA 129,977 SF, 2.98 ACRES</div> <div>TOTALS *</div> <div>PROPERTY AREA 1,140,312 SF,26.16 ACRES</div> <div>NUMBER OF BUILDINGS 10</div> <div>BUILDING AREA 26,075 SF (2.29%) **</div> <div>IMPERVIOUS SURFACE AREA 110,820 SF (9.72%) **</div> <div>* TOTALS ARE REFLECTIVE OF EXISTING, NEW, & FUTURE SCOPE</div> <div>** SEE SHEET G-0.03 FOR MORE DETAILED CODE REVIEW INFORMATION</div>		<div>1. PRELIMINARY SITE PLAN APPROVAL - 11 - 28 - 2023 .</div>	
PROJECT DIRECTORY10		PROJECT INFORMATION7		VICINITY MAP NOT TO SCALE4	
				PROJECT APPROVALS1	



SLOWTIDE.STUDIO,
ARCHITECTS

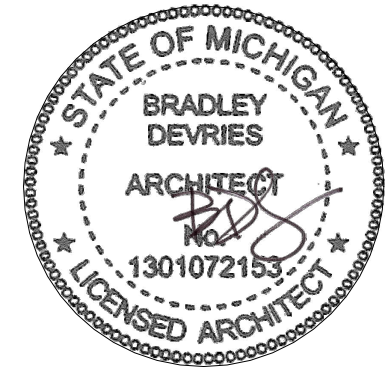
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

8640 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

GENERAL NOTES

FINAL SITE PLAN REVIEW DOCUMENTS



PROJECT ISSUE DATE:
12 - 08 - 2023

G-
0.02

	<div><div><div><div><div>/</div><div>></div><div>Ø</div><div>+</div></div><div>AND ANGLE AT HEIGHT ABOVE</div></div><div><div><div>ABV</div><div>ADJ</div><div>AP</div><div>APPROX</div></div><div>ABOVE ADJUSTABLE ACCESS PANEL APPROXIMATE</div></div><div><div><div>BB</div><div>BEL</div><div>BO</div></div><div>BASEBOARD BELOW BOTTOM OF</div></div><div><div><div>CB</div><div>CMU</div></div><div>CASEWORK CONCRETE MASONRY UNIT</div></div><div><div><div>D</div><div>DIM</div><div>DN</div><div>DW</div></div><div>DEPTH DIMENSION DOWN DISHWASHER</div></div><div><div><div>(E)</div><div>E</div><div>EF</div><div>ELEC</div><div>EP</div><div>EQ</div><div>EXT</div></div><div>EXISTING EAST EXHAUST FAN ELECTRIC ELECTRICAL PANEL EQUAL EXTERIOR</div></div><div><div><div>FC</div><div>FD</div><div>FL</div><div>FF</div></div><div>FAUCET FLOOR DRAIN FLOOR FINISH FLOOR</div></div><div><div><div>GA</div><div>GD</div><div>GR</div><div>GYP</div></div><div>GAUGE GARBAGE DIOSPOSAL GRADE GYPSUM WALLBOARD</div></div><div><div><div>H</div><div>HVAC</div></div><div>HEIGHT HEATING, VENTILATION, AND AIR CONDITIONING</div></div><div><div><div>INCL</div><div>INT</div></div><div>INCLUDE INTERIOR</div></div><div><div><div>LT</div><div>LV</div></div><div>LIGHT LAVATORY</div></div><div><div><div>MAX</div><div>MIN</div><div>MR</div><div>MT</div></div><div>MAXIMUM MINIMUM MIRROR METAL</div></div><div><div><div>N</div></div><div>NORTH</div></div><div><div><div>O.C.</div></div><div>ON CENTER</div></div><div><div><div>PD</div><div>PT</div></div><div>PAPER DISPENSER PAINT</div></div><div><div><div>RCP</div><div>RF</div><div>REF</div><div>RK</div></div><div>REFLECTED CEILING PLAN REFRIGERATOR REFERENCE RACK</div></div><div><div><div>S</div><div>SF</div><div>SK</div><div>SIM</div><div>SP</div><div>SPEC</div><div>ST</div></div><div>SOUTH SQUARE FOOTAGE SINK SIMILAR SPEAKER SPECIFIED STONE</div></div><div><div><div>TL</div><div>TO</div><div>TP</div><div>TV</div><div>TYP</div></div><div>TILE TOP OF TOILET PAPER TELEVISION TYPICAL</div></div><div><div><div>VH</div><div>VIF</div></div><div>VENTILATION HOOD VERIFY IN FIELD</div></div><div><div><div>W</div><div>W</div><div>WD</div><div>WH</div></div><div>WEST WIDTH WOOD WATER HEATER</div></div></div></div>	<div><div><div><div><div></div><div>ASPHALT PAVING</div></div><div><div></div><div>CONCRETE</div></div><div><div></div><div>GRAVEL</div></div><div><div></div><div>GRASS / EARTH</div></div><div><div></div><div>MOSAIC TILE</div></div><div><div></div><div>SQUARE TILE (VARIOUS)</div></div><div><div></div><div>MASONRY</div></div><div><div></div><div>GYPSUM</div></div></div><div><div><div></div><div>CENTERLINE</div></div><div><div></div><div>LOT LINE</div></div><div><div></div><div>HIDDEN, ABOVE, BELOW</div></div><div><div></div><div>COLD WATER SUPPLY (SIZED PER CODE)</div></div><div><div></div><div>HOT WATER SUPPLY (SIZED PER CODE)</div></div><div><div></div><div>SANITARY SEWER (SIZED PER CODE)</div></div></div></div></div>	<div><div><div><div><div></div><div>NORTH ARROW</div></div><div><div></div><div>CENTERLINE</div></div><div><div><div><div><div></div><div>DETAIL</div></div><div><div><div><div><div></div><div>AREA REFERENCE</div></div><div><div><div><div><div></div><div>5</div></div><div><div><div><div><div></div><div>A5.08</div></div><div><div><div><div><div></div><div>5</div></div></div></div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>EXTERIOR ELEVATION</div></div><div><div><div><div><div></div><div>DIRECTION OF ELEVATION</div></div><div><div><div><div><div></div><div>5</div></div><div><div><div><div><div></div><div>A5.08</div></div><div><div><div><div><div></div><div>5</div></div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>INTERIOR ELEVATION</div></div><div><div><div><div><div></div><div>DIRECTION OF ELEVATION</div></div><div><div><div><div><div></div><div>5</div></div><div><div><div><div><div></div><div>A5.08</div></div><div><div><div><div><div></div><div>5</div></div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>LEVEL HEAD</div></div><div><div><div><div><div></div><div>LEVEL NAME</div></div><div><div><div><div><div></div><div>5' - 8"</div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>DIMENSION STRING</div></div><div><div><div><div><div></div><div>1 5/8"</div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>ROOM TAG</div></div><div><div><div><div><div></div><div>ROOM NAME</div></div><div><div><div><div><div></div><div>5.08</div></div><div><div><div><div><div></div><div>BUILDING LEVEL</div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>SECTION TAG</div></div><div><div><div><div><div></div><div>DIRECTION OF SECTION</div></div><div><div><div><div><div></div><div>5</div></div><div><div><div><div><div></div><div>A5.08</div></div><div><div><div><div><div></div><div>5</div></div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>WALL TAG</div></div><div><div><div><div><div></div><div>ROOM NUMBER</div></div><div><div><div><div><div></div><div>A</div></div><div><div><div><div><div></div><div>5</div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>DOOR TAG</div></div><div><div><div><div><div></div><div>ROOM NUMBER</div></div><div><div><div><div><div></div><div>###</div></div><div><div><div><div><div></div><div>#</div></div></div></div></div></div></div></div></div></div></div><div><div><div><div><div></div><div>WINDOW TAG</div></div><div><div><div><div><div></div><div>ROOM NUMBER</div></div><div><div><div><div><div></div><div>#</div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div>	<div><div><div>ABBREVIATIONS, TYP.</div><div>7</div></div><div><div>LEGEND - PROJECT</div><div>4</div></div><div><div>SYMBOLS</div><div>1</div></div></div>

ASPHALT PAVING

CONCRETE

GRAVEL

GRASS / EARTH

MOSAIC TILE

SQUARE TILE (VARIOUS)

MASONRY

GYPSUM

CENTERLINE

LOT LINE

HIDDEN, ABOVE, BELOW

COLD WATER SUPPLY (SIZED PER CODE)

HOT WATER SUPPLY (SIZED PER CODE)

SANITARY SEWER (SIZED PER CODE)

NORTH ARROW

CENTERLINE

DETAIL

AREA REFERENCE

INDEX NUMBER

SHEET NUMBER

EXTERIOR ELEVATION

DIRECTION OF ELEVATION

INDEX NUMBER

SHEET NUMBER

INTERIOR ELEVATION

DIRECTION OF ELEVATION

INDEX NUMBER

SHEET NUMBER

LEVEL HEAD

LEVEL NAME

5' - 8"

DIMENSION STRING

1 5/8"

ROOM TAG

ROOM NAME

ROOM NUMBER

BUILDING LEVEL

SECTION TAG

DIRECTION OF SECTION

INDEX NUMBER

SHEET NUMBER

WALL TAG

ROOM NUMBER

DOOR TAG

DOOR NUMBER

WINDOW TAG

DOOR NUMBER

| | ABBREVIATIONS, TYP. | 7 | LEGEND - PROJECT | 4 | SYMBOLS | 1 |

[illegible]

ITEM	SPECIFICATION		ITEM	QUANTITY	DESCRIPTION	MANUFACTURER	MODEL	COLOR TEMP	FINISH	POWER REQ.	NOTES			
MT-1 BRAKE METAL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR ALUMINUM BREAK METAL DARK BRONZE OR BLACK ANODIZED TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER PROVIDE APPROPRIATE GAUGE PER APPLICATION	LT-1	4	PAVILION SCENCE	VISUAL COMFORT & CO	PITCH SINGLE OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 31 W	CONFIRM MOUNTING HEIGHT WITH ARCHITECT			
			LT-2	2	FARMHOUSE SCENCE	VISUAL COMFORT & CO	ASHE 8 OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 18 W	CONFIRM MOUNTING HEIGHT WITH ARCHITECT			
MT-2 DECORATIVE STEEL	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PAINTED STEEL DARK BRONZE OR BLACK TO MATCH STOREFRONT SYSTEMS SEMI-GLOSS PROVIDE APPROPRIATE PRIME & FINISH COATS FOR EXTERIOR EXPOSURE	LT-3	3	RED BARN SCENCE	VISUAL COMFORT & CO	BOWMAN 6 OUTDOOR WALL	3000 K	BLACK OR BRONZE	120 V / 47 A	CONFIRM MOUNTING HEIGHT WITH ARCHITECT			
MT-3 METAL ROOF	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR HIGH RIB INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH SIDING & ENERGY CODE	NOTE: ALL FIXTURES SUBJECT TO CHANGE. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS. NOTE: PLEASE REFER TO ES 101 & ES 102 FOR ADDITIONAL LIGHTING INFORMATION.											
PT-1 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH RED BARN FASCIA, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.												
PT-2 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "WHITE", TO MATCH FARMHOUSE, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.												
PT-3 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "BLACK OR DK BRONZE", TO MATCH PAVILION, TO BE CONFIRMED BY ARCH. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.												
PT-4 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "BEIGE", TO MATCH RED BARN DOORS, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.												
PT-5 PAINT	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR PER APPLICATION "RED", TO MATCH STORAGE BARN, TO BE CONFIRMED BY ARCHITECT. PER APPLICATION, PER ARCHITECT. 1 COAT PRIMER, 2 COATS FINISH MIN.												
SD-1 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR RECLAIMED VERTICAL BARN SIDING TO MATCH RED BARN TO MATCH RED BARN												
SD-2 WOOD SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR HORIZONTAL CLAPBOARD SIDING TO FARMHOUSE TO MATCH FARMHOUSE TO MATCH FARMHOUSE ALIGN TO FARMHOUSE												
SD-3 STONE VENEER	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR STONE VENEER TO MATCH RED BARN, SMOKER TO MATCH RED BARN, SMOKER												
SD-4 METAL SIDING	SUPPLIER PRODUCT COLOR FINISH NOTES	ECOSTEEL OR SIMILAR RIBBED INSULATED PANEL OR SIMILAR DARK BRONZE OR BLACK, TO MATCH STOREFRONT SYSTEMS PER MANUFACTURER COORDINATE RIB CONFIGURATION & THICKNESS WITH ROOF & ENERGY CODE												
SN-1 ASPHALT SHINGLE	SUPPLIER PRODUCT COLOR FINISH NOTES	PER CONTRACTOR DIMENSIONAL ASPHALT SHINGLE "DARK GREY" TO MATCH (E) ASPHALT SHINGLE ROOFS PER MANUFACTURER PROVIDE FULL ICE AND WATER SHIELD												
NOTE: ALL FINISHES SUBJECT TO CHANGE. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS														
			#	NAME / LOCATION		OPENING	W x H	THICKNESS	GLAZING	MANUFACTURER	MODEL	FINISH	HARDWARE	NOTES
			REFER TO STRUCTURAL FOR ALL NEW OPENINGS											
			B00.1	DOUBLE EXTERIOR BASEMENT STORAGE DOOR		NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	LEVER W/ CLASSROOM LOCK	
			002.1	OPENING BETWEEN BAR (002) & DISHROOM (003)		MODIFIED	3' - 0" x 7' - 0"	N/A	N/A	N/A	N/A	N/A	N/A	
			003.1	EXTERIOR DISH ROOM DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
			004.1	DOUBLE ENTRY DOOR, RED BARN LOWER LEVEL		NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	FULL-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
			005.1	ANTE ROOM STORAGE DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-4)	LEVER W/ CLASSROOM LOCK	
			006.1	WALK-IN COOLER DOOR		NEW	3' - 0" x 7' - 0"	4"	N/A	PER MANUFACTURER	PER MANUFACTURER	N/A	PER MANUFACTURER	
			008.1	DOUBLE ENTRY DOOR, PAVILION		NEW	(2) 3' - 0" x 7' - 0"	1 3/4"	FULL-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
			008.2	PAVILION EXTERIOR EGRESS DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	RIM PANIC, CLOSER	
			008.3	PAVILION EXTERIOR EGRESS DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-3)	RIM PANIC, CLOSER	
			101.1	DOUBLE EXTERIOR SERVICE DOOR		NEW	(2) 3' - 0" x 7' -0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
			102.1	DOUBLE-ACTING SERVICE DOOR		NEW	3' - 0" x 7' - 0"	1"	9" X 14"	REGENCY	600TD3684	ANODIZED ALUMINUM	PER MANUFACTURER	
			102.2	DOUBLE-ACTING SERVICE DOOR		NEW	3' - 0" x 7' - 0"	1"	9" X 14"	REGENCY	600TD3684	ANODIZED ALUMINUM	PER MANUFACTURER	
			103.1	SMOKER DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK	PROVIDE MASONRY FRAME AND PROPER SEALING
			104.1	DOUBLE FIRE DOOR		NEW	(2) 3' - 0" x 7' -0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	PROVIDE MASONRY FRAME, PROPER SEALING, AND HOLD OPENS CONNECTED TO FIRE DETECTION SYSTEM
			104.2	DOUBLE FIRE DOOR		NEW	(2) 3' - 0" x 7' -0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	PROVIDE MASONRY FRAME, PROPER SEALING, AND HOLD OPENS CONNECTED TO FIRE DETECTION SYSTEM
			105.1	OPENING BETWEEN VEST. (105) & VEST. (106)		MODIFIED	6' 6" x 7' - 0"	N/A	N/A	N/A	N/A	N/A	N/A	
			107.1	SINGLE ENTRY DOOR, GROOM'S SUITE		MODIFIED	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-5)	LEVER W/ CLASSROOM LOCK, CLOSER	
			108.1	RESTROOM DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	N/A	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ PRIVACY LOCK, CLOSER	
			201.1	SINGLE ENTRY DOOR		NEW	3' - 0" x 7' - 0"	1 3/4"	HALF-LITE	PER CONTRACTOR	PER CONTRACTOR	PAINTED STEEL (PT-2)	LEVER W/ CLASSROOM LOCK, RIM PANIC, CLOSER	
			NOTE: VERIFY ALL DOORS IN FIELD. CONTRACTOR TO PROVIDE SUBMITTALS FOR REVIEW FOR ALL CONTRACTOR PROVIDED ELEMENTS. ALTERNATES TO BE CONSIDERED.											



SLOWTIDE.STUDIO,
ARCHITECTS

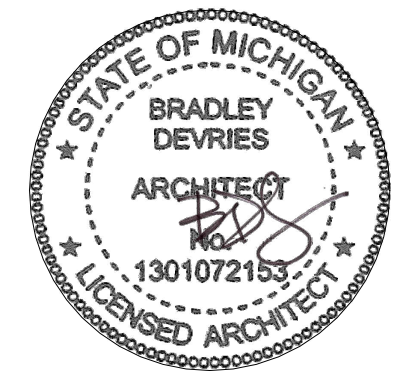
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302

CORNMAN FARMS

8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN - 48130

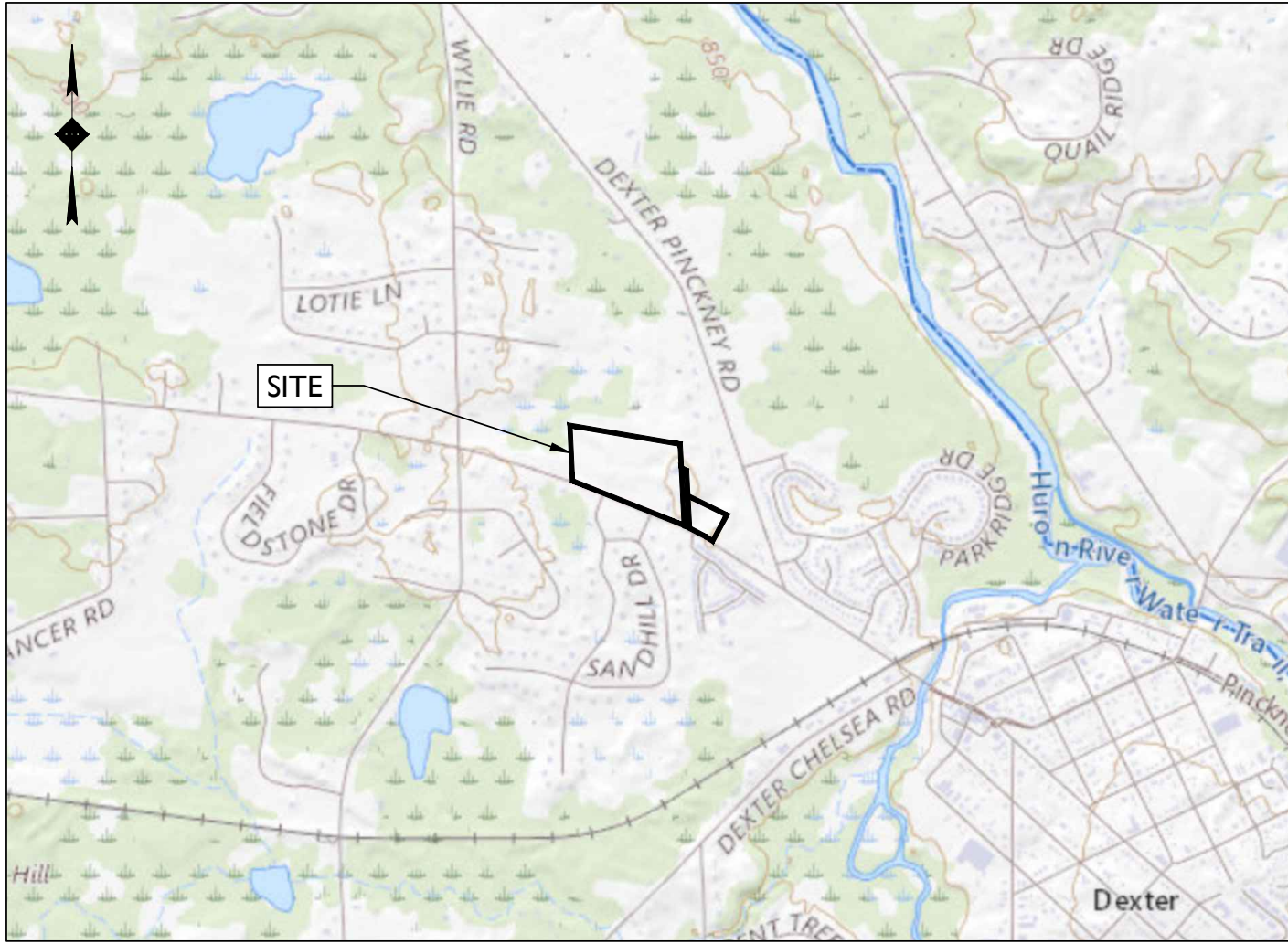
SCHEDULES - PROJECT

FINAL SITE PLAN REVIEW DOCUMENTS



PROJECT ISSUE DATE:
12 - 08 - 2023

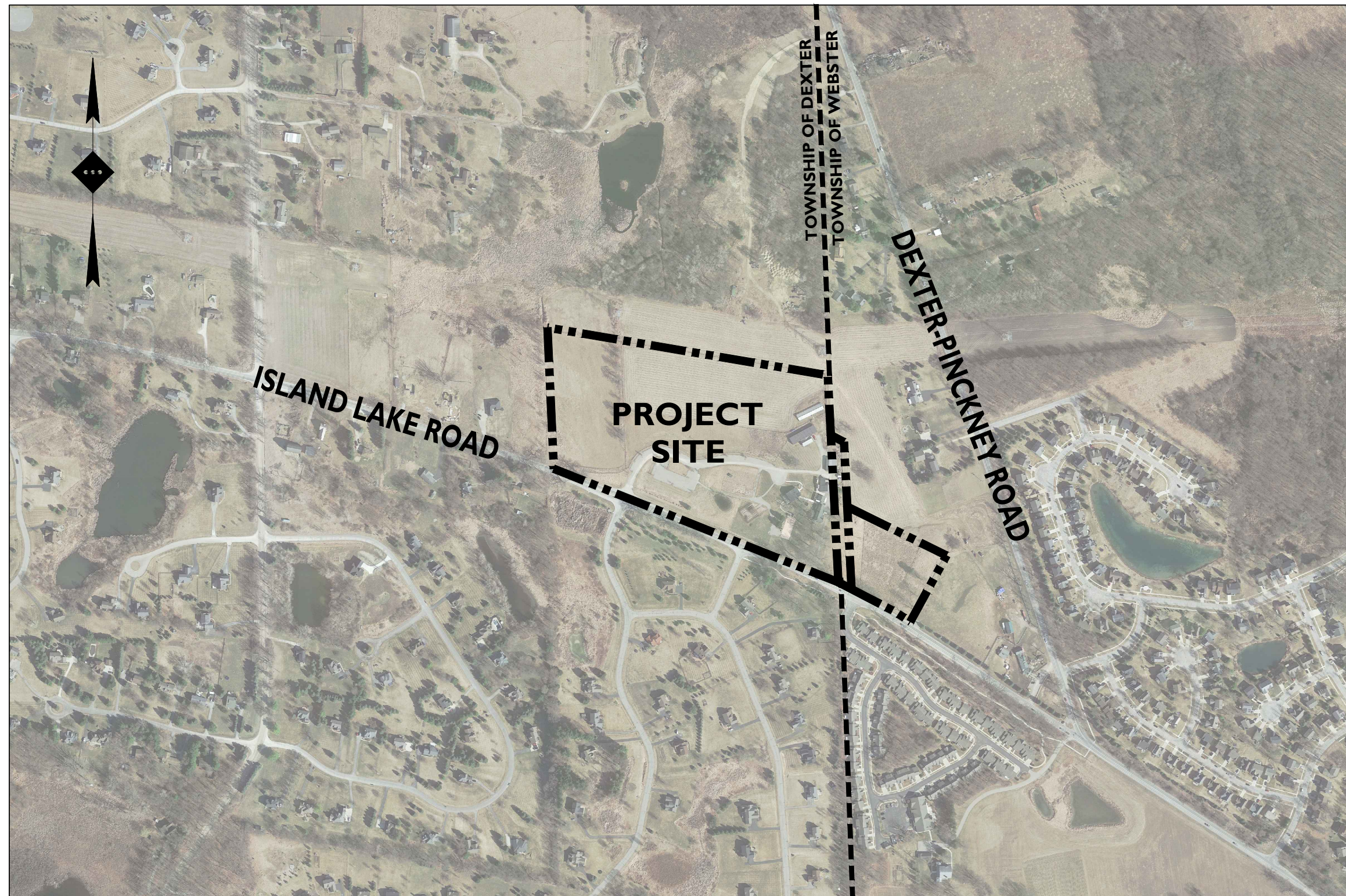
G-
0.05



SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±



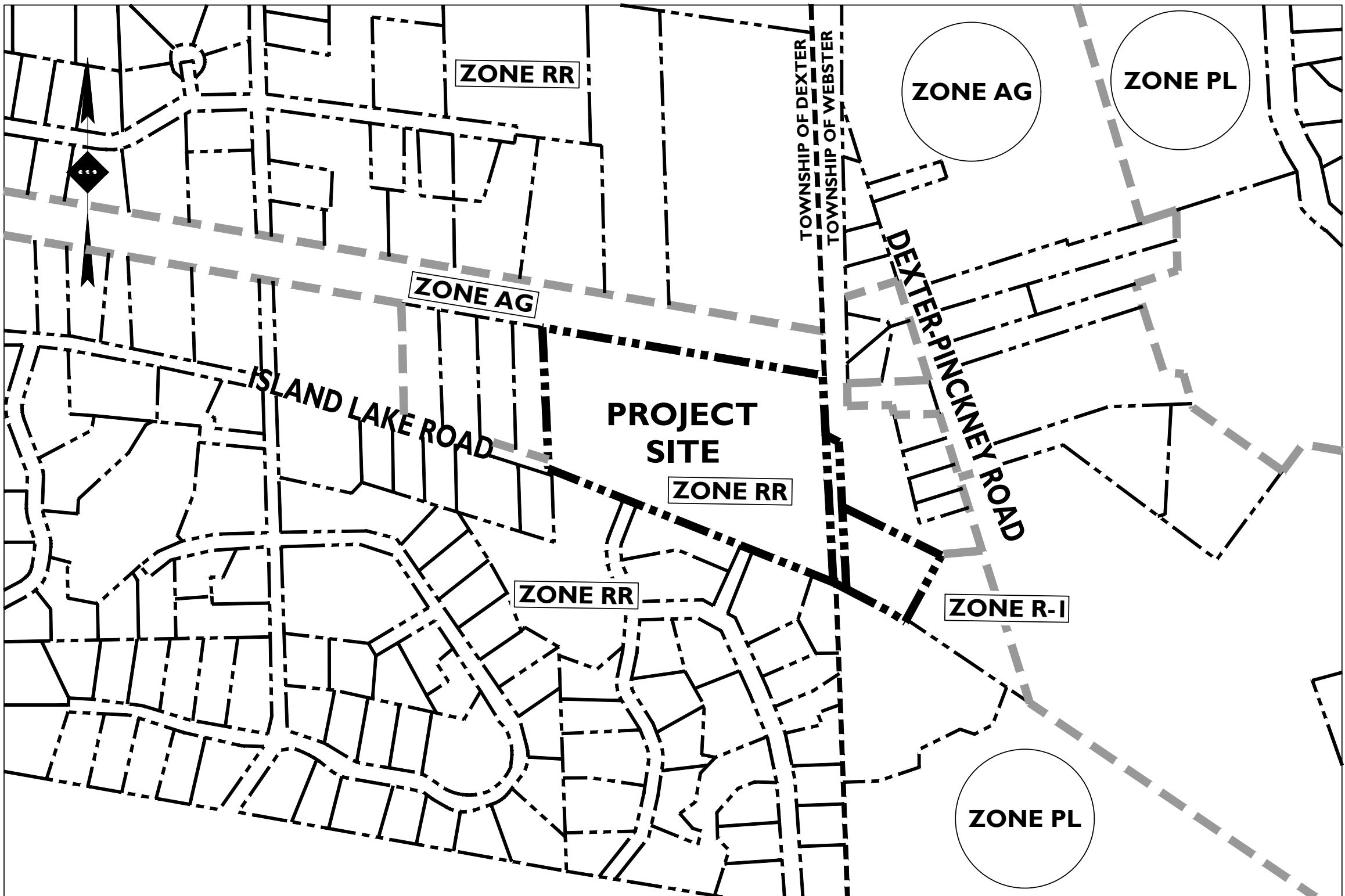
SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 500'±

SITE IMPROVEMENT PLANS
FOR
CORNMAN FARMS
PROPOSED BUILDING ADDITION

PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD, TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

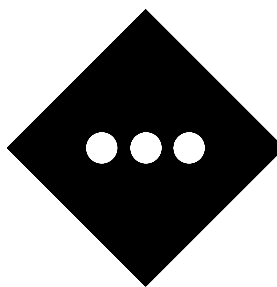


SOURCE: TOWNSHIP OF DEXTER & TOWNSHIP OF WEBSTER ZONING MAP

ZONING MAP

SCALE: 1" = 500'±

PLANS PREPARED BY:



STONEFIELD
engineering & design

Detroit, MI · Rutherford, NJ · New York, NY
Boston, MA · Princeton, NJ · Tampa, FL
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC & ASSOCIATES, UPDATED 11/27/2023
 - ARCHITECTURAL PLANS PREPARED BY SLOWTIDE STUDIO ARCHITECTS, DATED 10/26/2023
 - GEOTECHNICAL REPORT
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS ONLINE MAPS
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
OVERALL SITE PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
STORMWATER MANAGEMENT & UTILITY PLAN	C-6
STORMWATER CALCULATIONS PLAN	C-7
LANDSCAPING PLAN	C-8
CONSTRUCTION DETAILS	C-9

ADDITIONAL SHEET INDEX

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	4 TO 4
ATWELL PRELIMINARY / FINAL SITE PLAN DRAWINGS	SP-4.0 & SP-5.0

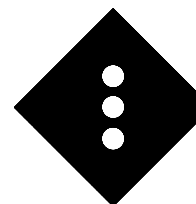


Know what's below
Call before you dig.

FOR FINAL SITE APPROVAL	FOR SITE PLAN REVIEW	FOR CLIENT REVIEW	DESCRIPTION
VF	VF	VF	
12/06/2023	10/30/2023	10/30/2023	
2	2	1	
ISSUE	DATE	BY	

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design



Detroit, MI · Rutherford, NJ · New York, NY
Boston, MA · Princeton, NJ · Tampa, FL
www.stonefieldeng.com

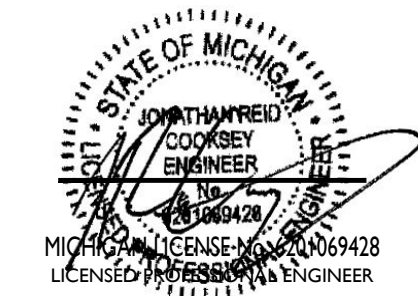
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C -03-31-300-003, C -03-31-300-011, D -04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-220107

TITLE:

COVER SHEET

DRAWING:

C-1



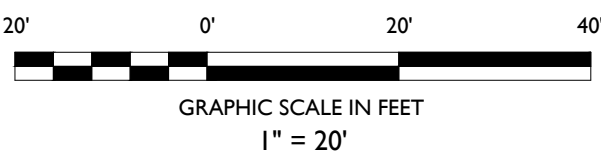
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
-x-x-x-x-	EXISTING FENCE TO BE REMOVED / DEMOLISHED
[.4 .4 .4 .4]	EXISTING CONCRETE TO BE REMOVED / DEMOLISHED

ALL SITE FEATURES WITHIN THIS PLAN ARE TO BE REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



FOR FINAL SITE APPROVAL	FOR SITE PLAN REVIEW	FOR CLIENT REVIEW	DESCRIPTION
VF	VF	VF	BY
2	2	1	DATE
12/06/2023	10/30/2023	10/30/2023	ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Detroit, MI • Rutherford, NJ • New York, NY
Boston, MA • Princeton, NJ • Tampa, FL
www.stonefielddesign.com

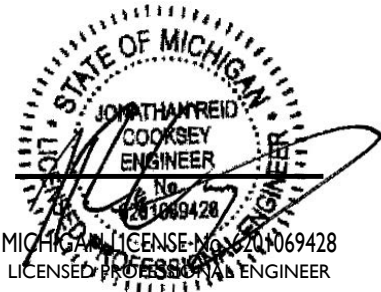
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-000-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-220107

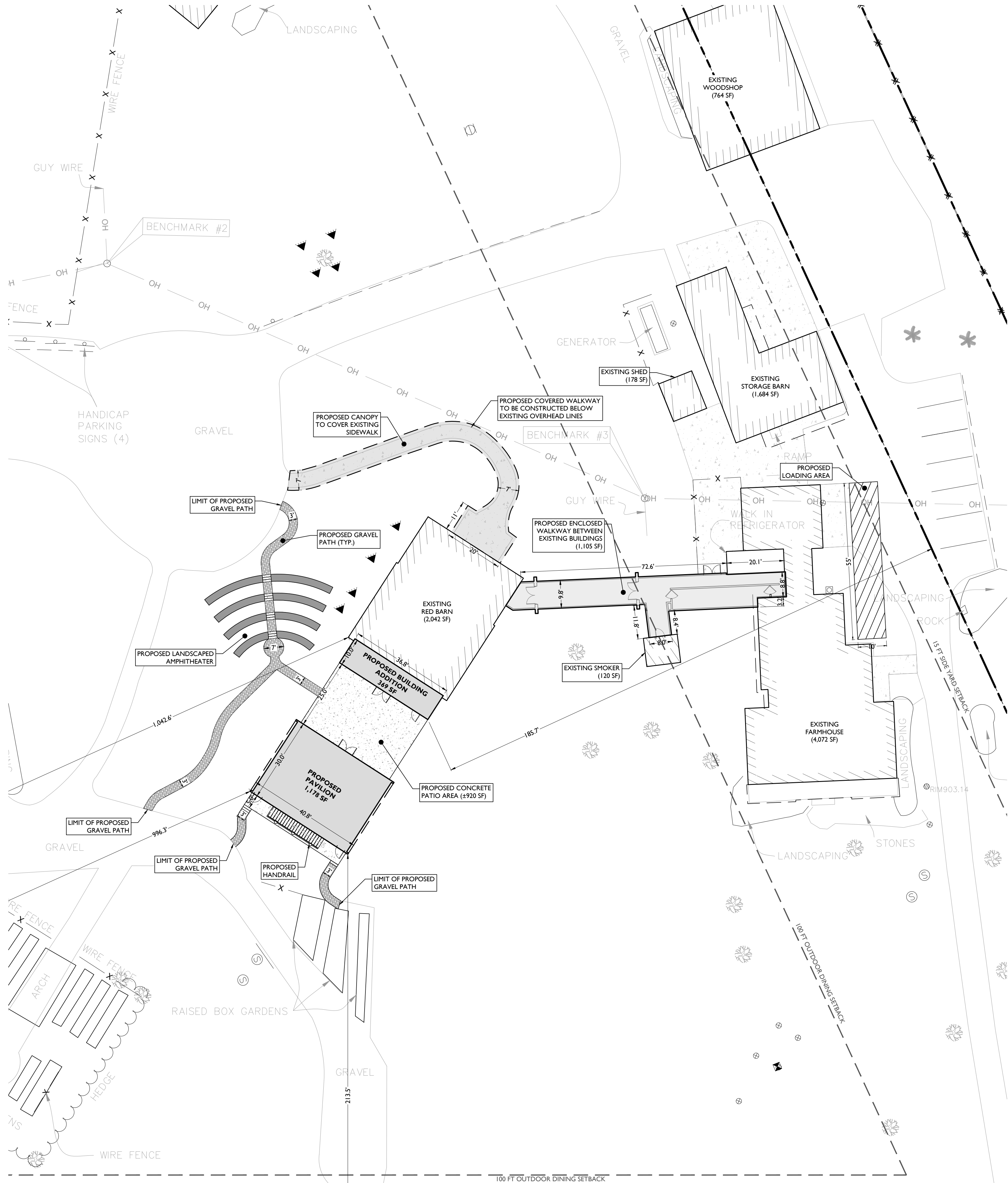
TITLE:

DEMOLITION PLAN

DRAWING:

C-3

V:\07102102\071220107\500VTE51.DWG 8/4/2016 10:00:00 AM LARSEN, DORIS, INC. C:\07102102\071220107\500VTE51.DWG



ALL SITE LIGHTING TO REMAIN AS EXISTING.
NEW LIGHTS HAVE NOT BEEN PROPOSED AS
PART OF THIS DEVELOPMENT.

LAND USE AND ZONING

PARCEL ID : D-04-36-400-002

RURAL RESIDENTIAL DISTRICT (RR)

PROPOSED USE

SPECIAL EVENT FACILITY

ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20 AC ⁽¹⁾	22.32 AC (972,527 SF)	-
MINIMUM LOT WIDTH	600 FT ⁽¹⁾	1,372.2 FT	-
MAXIMUM IMPERVIOUS COVERAGE	20% (194,505 SF)	9.7% (94,195 SF)	10.6% (103,313 SF)
MAXIMUM BUILDING COVERAGE	11,543 SF	22,472 SF (EN)	24,325 SF (V) ⁽²⁾
MAXIMUM BUILDING HEIGHT	30 FT	< 30 FT	< 30 FT
MINIMUM FRONT YARD SETBACK	80 FT	106.2 FT	213.5 FT
MINIMUM SIDE YARD SETBACK	15 FT	0.0 FT (EN)	0.0 FT (EN)
MINIMUM REAR YARD SETBACK	30 FT	127.5 FT	127.5 FT
OUTDOOR DINING SETBACK	100 FT ⁽³⁾	N/A	185.7 FT
FRONT YARD PARKING SETBACK	80 FT ⁽²⁾	N/A	N/A
SIDE YARD PARKING SETBACK	15 FT ⁽²⁾	0 FT (EN)	0 FT (EN)
REAR YARD PARKING SETBACK	30 FT ⁽²⁾	N/A	N/A

(V) VARIANCE

(EN) EXISTING NON-CONFORMITY

(1) § 17.04.L: SPECIAL EVENT FACILITY REQUIREMENTS

- LOT AREA : 20 AC
- LOT WIDTH : 600 FT
- OUTDOOR DINING : 100 FT FROM ANY LOT LINE

(2) § 18.04.C.1 : PARKING SPACES, QUEUING SPACES, AND MANEUVERING LANES SHALL MEET THE YARD REQUIREMENTS OF THE DISTRICT IT IS LOCATED IN.

(3) SEE SHEET C-2 FOR CALCULATIONS

SYMBOL

PROPERTY LINE

SETBACK LINE

PROPOSED BUILDING

PROPOSED CONCRETE

PROPOSED BUILDING DOORS

PROPOSED CANOPY OVERHANG

PROPOSED GRAVEL

DESCRIPTION

PROPERTY LINE

SETBACK LINE

PROPOSED BUILDING

PROPOSED CONCRETE

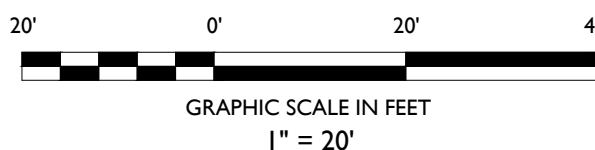
PROPOSED BUILDING DOORS

PROPOSED CANOPY OVERHANG

PROPOSED GRAVEL

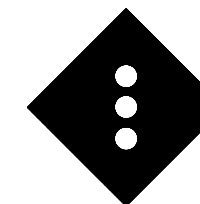
GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design



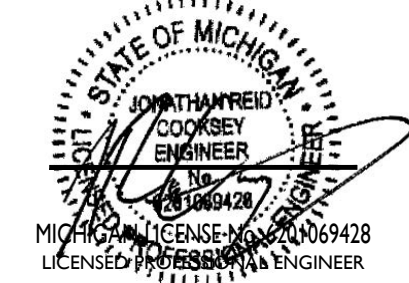
Detroit, MI • Rutherford, NJ • New York, NY
Boston, MA • Princeton, NJ • Tampa, FL
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS
PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 ISLANDS OF LAKESIDE ROAD
TOWNSHIP OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-220107

TITLE:

SITE PLAN


DRAWING:

C-4



GRADING NOTES

- ADA NOTES**

- 20' 0' 20' 40'
- 
- GRAPHIC SCALE IN FEET
1" = 20'

Detroit, MI • Rutherford, NJ • New York, NY
Boston, MA • Princeton, NJ • Tampa, FL
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130

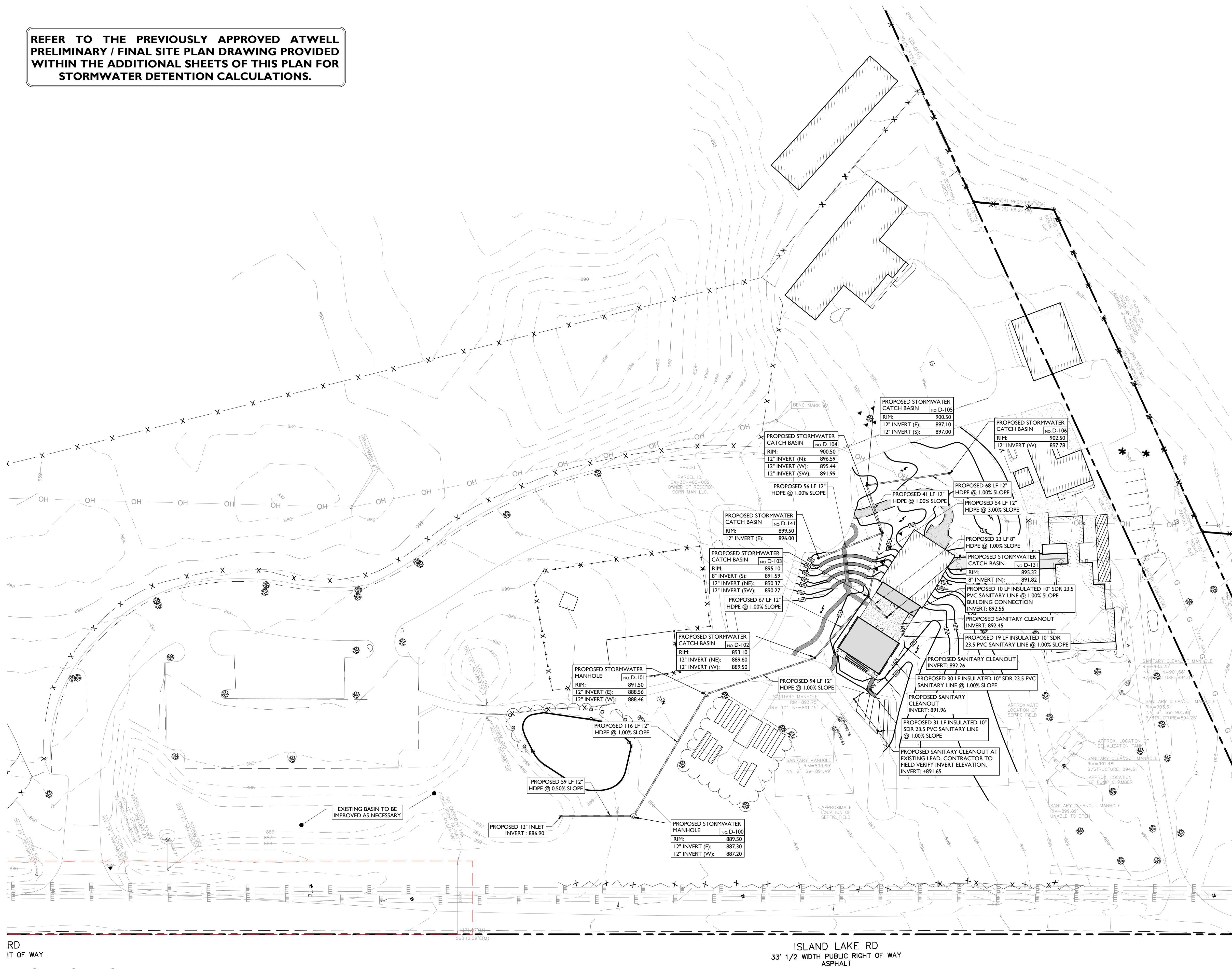



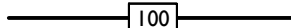




TITLE:

DRAWING:

C-5

**REFER TO THE PREVIOUSLY APPROVED ATWELL
PRELIMINARY / FINAL SITE PLAN DRAWING PROVIDED
WITHIN THE ADDITIONAL SHEETS OF THIS PLAN FOR
STORMWATER DETENTION CALCULATIONS.**



<u>SYMBOL</u>	<u>DESCRIPTION</u>
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED SANITARY LATERAL
	PROPOSED SANITARY CLEANOUT
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

DRAINAGE AND UTILITY NOTES

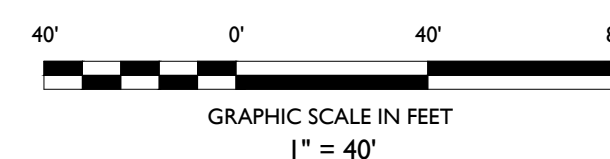
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE CITY OF ANY DISCREPANCIES. NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE CITY'S REQUEST.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AGENCY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK. PRIOR TO THE START OF CONSTRUCTION IN ANY AREA WITH STORM LINES. THE CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLANS, SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS REQUIRED TO NOTIFY THE CITY IN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATION SPECIFIED ON THE PLANS, SET OR SURVEY. THE RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BEFORE FINAL PROPOSED EXCAVATIONS. THE CONTRACTOR SHALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. THE CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE TEST SPECIFICATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ORDER TO COMPLY WITH THE CITY OF STONEFIELD'S REQUIREMENTS TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY THE CITY OF STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN GOOD ORDER ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE PROVIDED TO PROTECT THE SANITARY SEWER AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE PROVIDED TO PROTECT THE SANITARY SEWER AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR SHALL PROVIDE A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONNECTION EXIST, THE CONTRACTOR SHALL NOTIFY THE CITY OF STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELEPHONE CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
9. THE CONTRACTOR IS REQUIRED TO SUBMIT A SET OF THIRD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES AND THE LOCATION OF REMOVED OR RELOCATED BASED ON THE FIELD LOCATION SURVEY. THIS SET OF PLANS SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE LOCATION OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATION OF EXISTING UTILITIES. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

[illegible]

NOT APPROVED FOR CONSTRUCTION



Detroit, MI • Rutherford, NJ • New York, NY
Boston, MA • Princeton, NJ • Tampa, FL
www.stonefieldeng.com

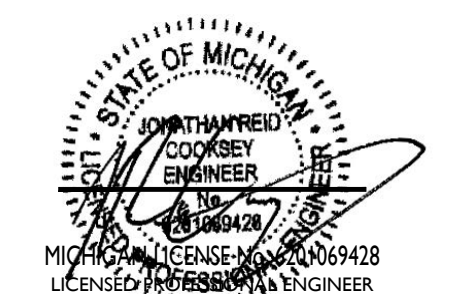
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS

CORNMAN FARMS

PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



SCALE:	1" = 40'	PROJECT ID: DET-220107
--------	----------	------------------------

**STORMWATER
MANAGEMENT &
UTILITY PLAN**

DRAWING:

C-6

10-YR STORMWATER SYSTEM DESIGN																	
Line #	Line ID	Rim Elevation Downstream (FT)	Rim Elevation Upstream (FT)	Invert Downstream (FT)	Invert Upstream (FT)	Pipe Size (IN)	Pipe Length (FT)	Pipe Slope (%)	Velocity Downstream (FPS)	Q Required (CFS)	Pipe Capacity (CFS)	HGL Downstream (FT)	HGL Upstream (FT)	Drainage Area (AC)	Runoff Coefficient	Time of Concentration (MIN)	Rainfall Intensity (IN/HR)
1	BASIN TO D-100	886.90	889.50	886.90	887.20	12.00	59.00	0.50	1.39	1.09	2.54	887.90	887.95	0.00	0.00	17.40	3.65
2	D-100 TO D-101	889.50	891.50	887.30	888.46	12.00	116.00	1.00	1.94	1.12	3.56	887.99	888.91	0.00	0.00	16.60	3.73
3	D-101 TO D-102	891.50	893.10	888.56	889.50	12.00	94.00	1.00	4.03	1.13	3.56	888.95	889.95	0.06	0.63	16.20	3.79
4	D-102 TO D-103	893.10	895.10	889.60	890.27	12.00	67.00	1.00	3.81	0.93	3.56	889.95	890.67	0.05	0.78	15.90	3.83
5	D-103 TO D-104	895.10	900.50	890.37	891.99	12.00	54.00	3.00	3.67	0.74	6.17	890.67	892.35	0.07	0.61	15.60	3.87
6	D-104 TO D-105	900.50	900.50	896.59	897.00	12.00	41.00	1.00	3.34	0.58	3.56	896.86	897.32	0.03	0.30	15.40	3.90
7	D-105 TO D-106	900.50	902.50	897.10	897.78	12.00	68.00	1.00	3.29	0.55	3.56	897.37	898.09	0.25	0.56	15.00	3.95
8	D-104 TO D-141	900.50	899.50	895.44	896.00	12.00	56.00	1.00	1.59	0.05	3.56	895.52	896.09	0.03	0.40	15.00	3.95
9	D-103 TO D-131	895.10	895.32	891.59	891.82	8.00	23.00	1.00	1.92	0.08	1.21	891.70	891.94	0.02	0.95	15.00	3.95

I) Developed area Contributing Runoff (a)

a 5.33

Landcover	Area (SF)
Building / Roof	10,244
Gavel / Pavement	72,228
Water	11,100
Grass	142,317

C-Value*	Weighted C-Value
0.95	9.732
0.95	68,617
1.00	11,100
0.35	49,811

x	=	9.732
x	=	68,617
x	=	11,100
x	=	49,811

Subtotals	235,889
-----------	---------

Composite C Value, C: 0.59

2) Maximum Allowable Runoff Qa (Local Requirements)

$Qa = a * 0.15 \text{ cfs/acre}$

Qa = 0.80 (cfs)

3) Calculate Qo = Qa / (a*c)

(max outflow per acre impervious)

Qo = 0.25 (cfs/acre imperv.)

4) Max. Storage Time, T=25+sqrt(10312.5/Qo)

T = 176.46 (minutes)

5) Max. Storage Required, Vs = ((16500*T) / (T+25) - 40)QoT

Vs = 12,659 (cfs/acre imperv.)

6) Detention - Total Storage Required, Vt = Vs/a*c

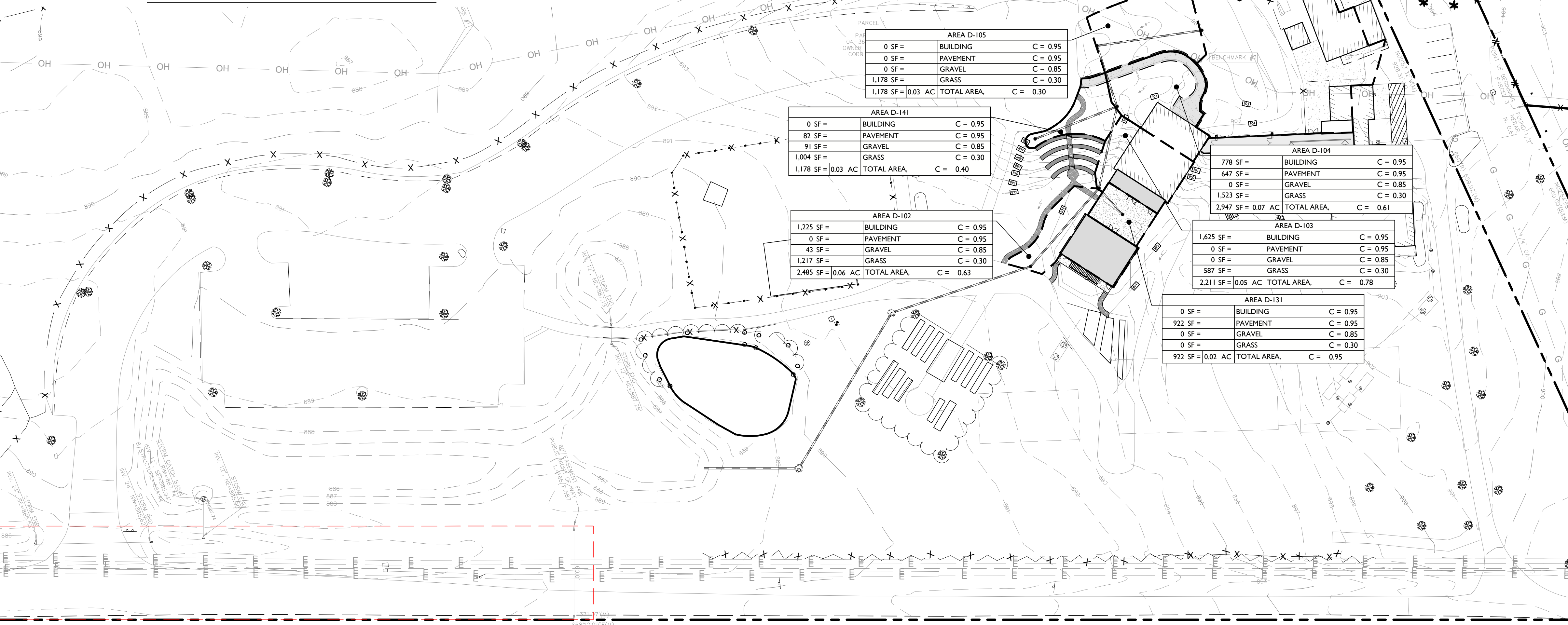
Vt = 39,833 (cf)

II. Storage Volume to Detain "First Flush" Runoff

$V = 1.815 \text{ acreage} * \text{Impervious Factor}$

V = 5,711 (cf)

FIRST FLUSH RAINFALL CALCULATIONS



RD
IT OF WAY

G G G

ISLAND LAKE RD
33' 1/2 WIDTH PUBLIC RIGHT OF WAY
ASPHALT

REFER TO THE PREVIOUSLY APPROVED ATWELL
PRELIMINARY / FINAL SITE PLAN DRAWING PROVIDED
WITHIN THE ADDITIONAL SHEETS OF THIS PLAN FOR
STORMWATER DETENTION CALCULATIONS.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
SAN	PROPOSED SANITARY LATERAL
o	PROPOSED SANITARY CLEANOUT
o	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING

DRAINAGE AND UTILITY NOTES

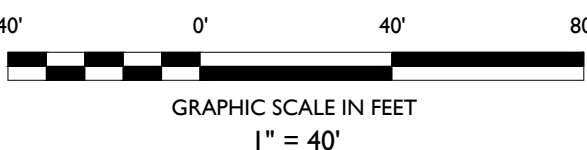
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



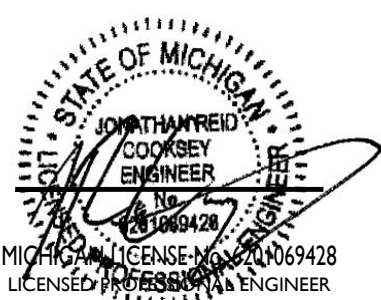
STONEFIELD
engineering & design

Detroit, MI · Rutherford, NJ · New York, NY
Boston, MA · Princeton, NJ · Tampa, FL
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS
CORNMAN FARMS
PROPOSED BUILDING ADDITION

PARCEL ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 ISLAND LAKE ROAD
TOWNSHIPS OF DEXTER & WEBSTER
WASHTENAW COUNTY, MICHIGAN 48130



STONEFIELD
engineering & design

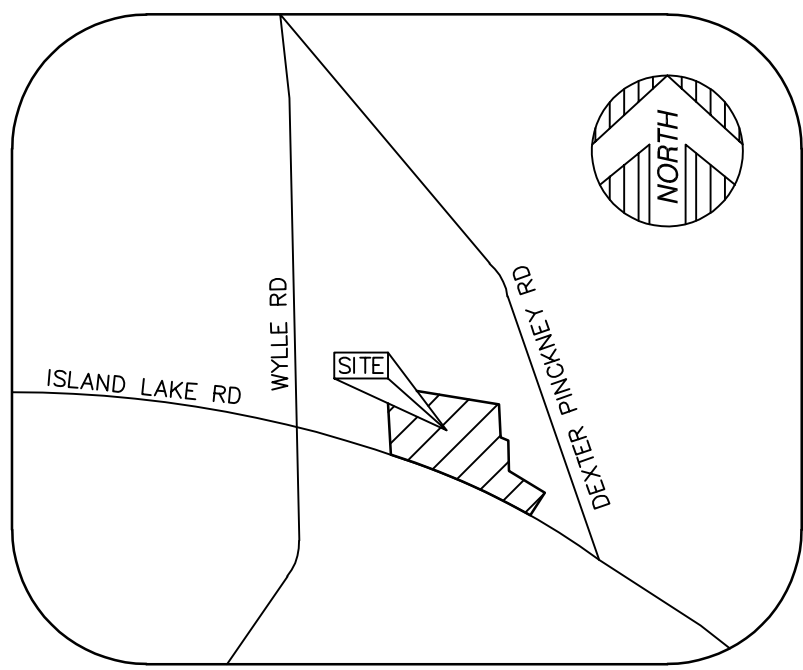
SCALE: 1" = 40' PROJECT ID: DET-220107

TITLE:

STORMWATER
CALCULATIONS
PLAN

DRAWING:

C-7



VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 0 STALLS
STANDARD PARKING = 7 STALLS
PARKING BLOCKS = 122
HANDICAP PARKING BLOCKS = 4

PARCEL AREA

PARCEL 1:
972,527± SQUARE FEET = 22.32± ACRES
PARCEL 2:
37,808± SQUARE FEET = 0.86± ACRES
PARCEL 3:
129,977± SQUARE FEET = 2.98± ACRES

BASIS OF BEARING

SOUTH 02°53'33" EAST, BEING THE EAST LINE OF SECTION 36, PER ATWELL SURVEY, DATED 6/20/12, JOB #12000960.

BENCHMARK

BENCHMARK #1
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±300 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD, NORTH OF WESTERLY PARKING AREA. ELEVATION = 889.49' (NAVD 88)

BENCHMARK #2
MAG NAIL SET IN SOUTH SIDE OF UTILITY POLE, ±350 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD, ±80 FEET SOUTHWEST NORTH MOST BARN. ELEVATION = 898.97' (NAVD 88)

BENCHMARK #3
MAG NAIL SET IN NORTH SIDE OF UTILITY POLE, ±30 FEET WEST OF THE NORTHWEST CORNER OF THE CLUBHOUSE, ±275 FEET NORTH OF THE CENTER LINE OF ISLAND LAKE ROAD. ELEVATION = 905.03' (NAVD 88)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

PROPERTY DESCRIPTION

THE LAND SITUATED IN THE TOWNSHIP OF WEBSTER, COUNTY OF WASHTENAW, MICHIGAN, DESCRIBED AS:

PARCEL 1:
COMMENCING AT THE EAST 1/4 POST OF SECTION 36, T1S, R4E, THENCE SOUTH IN THE EAST LINE OF SECTION 20S.15 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 77°08'15" WEST 1274.6 FEET; THENCE SOUTH 0°37'30" WEST 633.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF ISLAND LAKE ROAD TO THE EAST SECTION LINE; THENCE NORTH ALONG SAID EAST SECTION LINE TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 36, T1S, R4E, DEXTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 2:
COMMENCING AT THE WEST 1/4 POST OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 17.05 CHAINS IN THE WEST LINE OF SAID SECTION FOR A PLACE OF BEGINNING; THENCE SOUTH 61°15' EAST 4 RODS; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE SECTION 40 RODS; THENCE NORTH 61°15' WEST 4 RODS; THENCE SOUTH 40 RODS IN THE WEST LINE OF THE SECTION OF THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

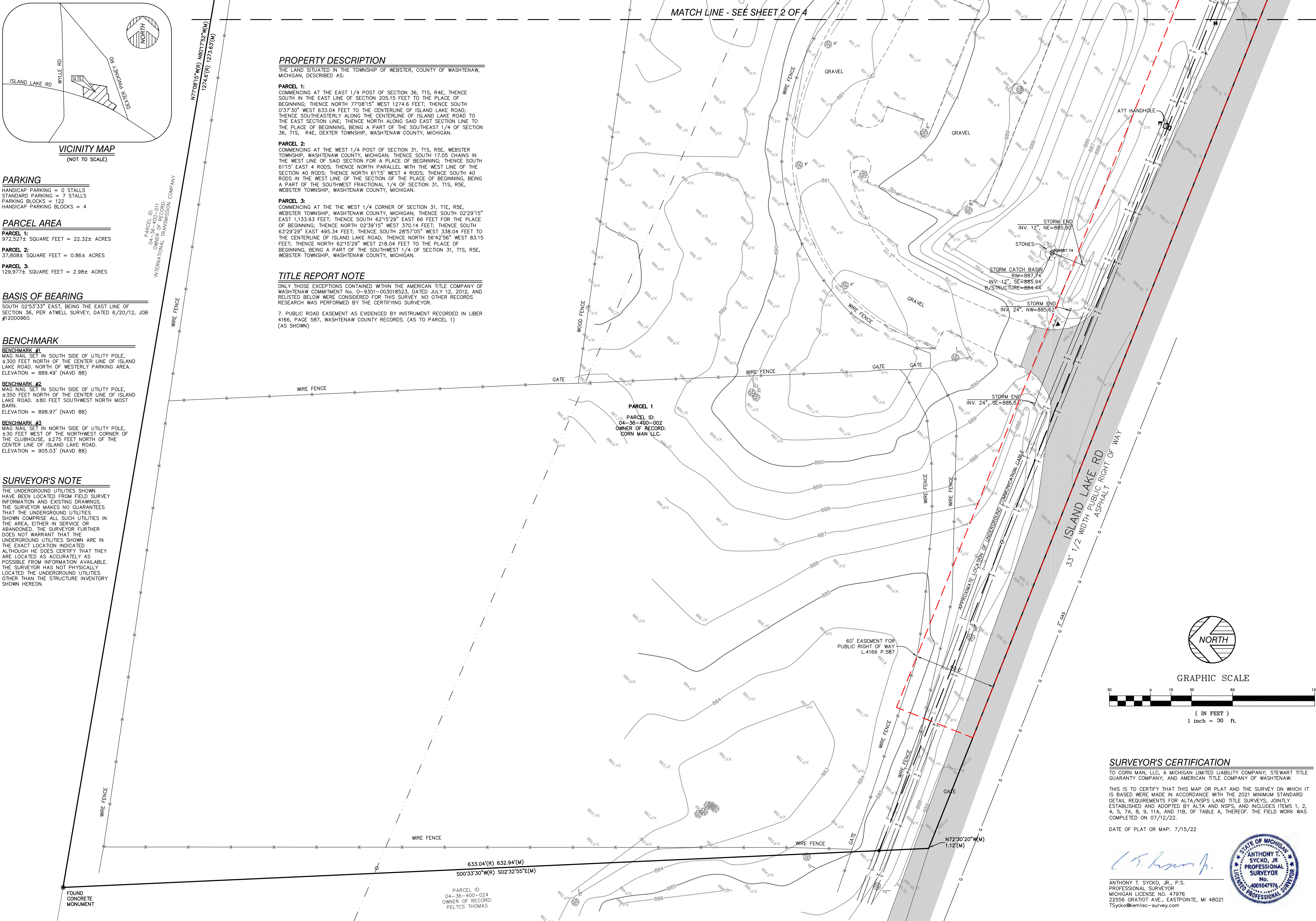
PARCEL 3:
COMMENCING AT THE THE WEST 1/4 CORNER OF SECTION 31, T1E, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE SOUTH 02°29'15" EAST 1,133.93 FEET; THENCE SOUTH 62°15'29" EAST 66 FEET FOR THE PLACE OF BEGINNING; THENCE NORTH 02°39'15" WEST 370.14 FEET; THENCE SOUTH 63°29'29" EAST 495.34 FEET; THENCE SOUTH 28°57'05" WEST 338.04 FEET TO THE CENTERLINE OF ISLAND LAKE ROAD; THENCE NORTH 56°42'56" WEST 83.15 FEET; THENCE NORTH 62°15'29" WEST 218.04 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 31, T1S, R5E, WEBSTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE AMERICAN TITLE COMPANY OF WASHTENAW COMMITMENT No. 0-9301-003018523, DATED JULY 12, 2012, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

7. PUBLIC ROAD EASEMENT AS EVIDENCED BY INSTRUMENT RECORDED IN LIBER 4166, PAGE 587, WASHTENAW COUNTY RECORDS. (AS TO PARCEL 1) (AS SHOWN)

MATCH LINE - SEE SHEET 2 OF 4



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

SURVEYOR'S CERTIFICATION

TO CORN MAN, LLC, A MICHIGAN LIMITED LIABILITY COMPANY; STEWART TITLE GUARANTY COMPANY; AND AMERICAN TITLE COMPANY OF WASHTENAW:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 5, 7A, 8, 9, 11A, AND 11B, OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 07/12/22.

DATE OF PLAT OR MAP: 7/15/22

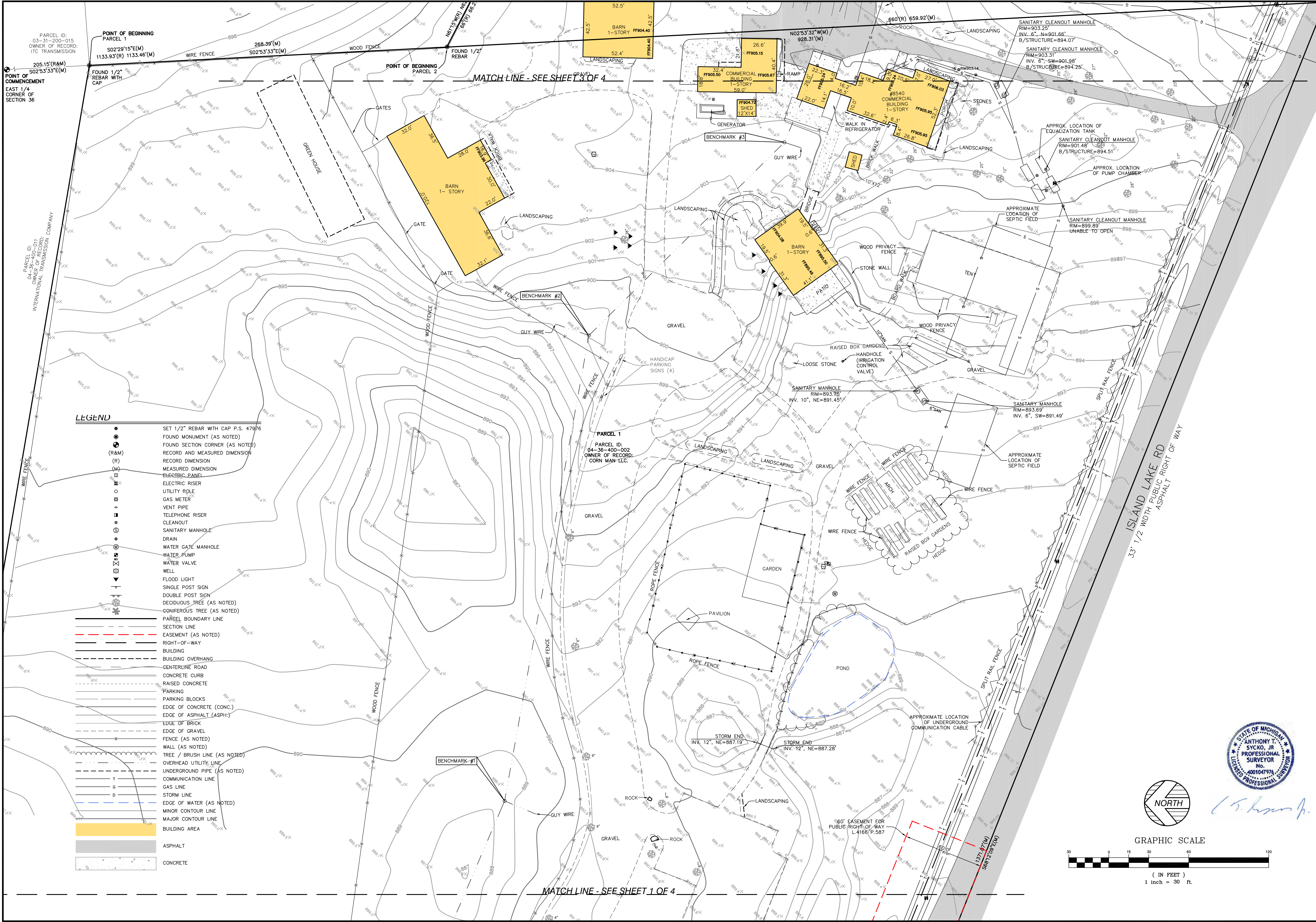
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com



ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

REVISION	DATE	BY	DESCRIPTION
1	07/13/22	MRJ	ADDITIONAL TOPO
2	07/23/23	MRJ	ADDITIONAL UTILITY INFO
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS
4	11/27/23	ATS	REVISED SEPTIC FIELD NOTE

DATE	07/15/22
PROJECT NO.	22-01590
SCALE	1" = 30'
DRAWN BY	DAH
CHECKED BY	ATS

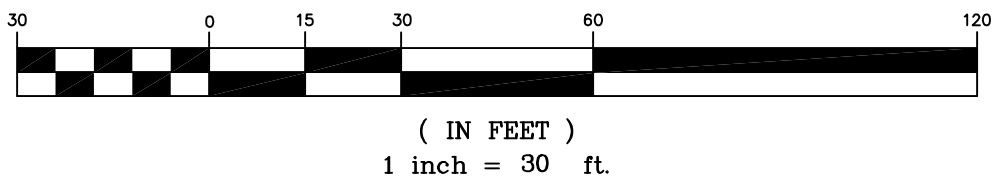


LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- RECORD AND MEASURED DIMENSION
- RECORD DIMENSION
- MEASURED DIMENSION
- ELECTRIC PANEL
- ELECTRIC RISER
- UTILITY POLE
- GAS METER
- VENT PIPE
- TELEPHONE RISER
- CLEANOUT
- SANITARY MANHOLE
- DRAIN
- WATER GATE MANHOLE
- WATER PUMP
- WATER VALVE
- WELL
- FLOOD LIGHT
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- PARKING BLOCKS
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- TREE / BRUSH LINE (AS NOTED)
- OVERHEAD UTILITY LINE
- UNDERGROUND PIPE (AS NOTED)
- COMMUNICATION LINE
- GAS LINE
- STORM LINE
- EDGE OF WATER (AS NOTED)
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE



ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN

8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,

PART OF SECTION 36 & 31,

TOWN 1 SOUTH, RANGE 4 EAST

PROFESSIONAL ENGINEERING,
SURVEYING & ENVIRONMENTAL
SERVICES

KEM-TEC

A GROUP OF COMPANIES

Eastpointe

Detroit

(800) 255-7222

(313) 758-0877

Grand Blanc

(888) 654-0001

www.kemtecgroupofcompanies.com

REVISION

DATE

BY

4

11/27/23

ATS

3

10/27/23

MRJ

2

07/23/23

MRJ

1

07/13/22

MRJ

DAH

07/14/22

07/15/22

JULY 15, 2022

22-01590

1" = 30'

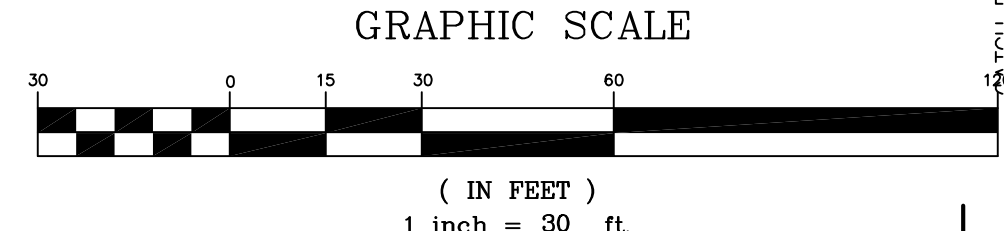
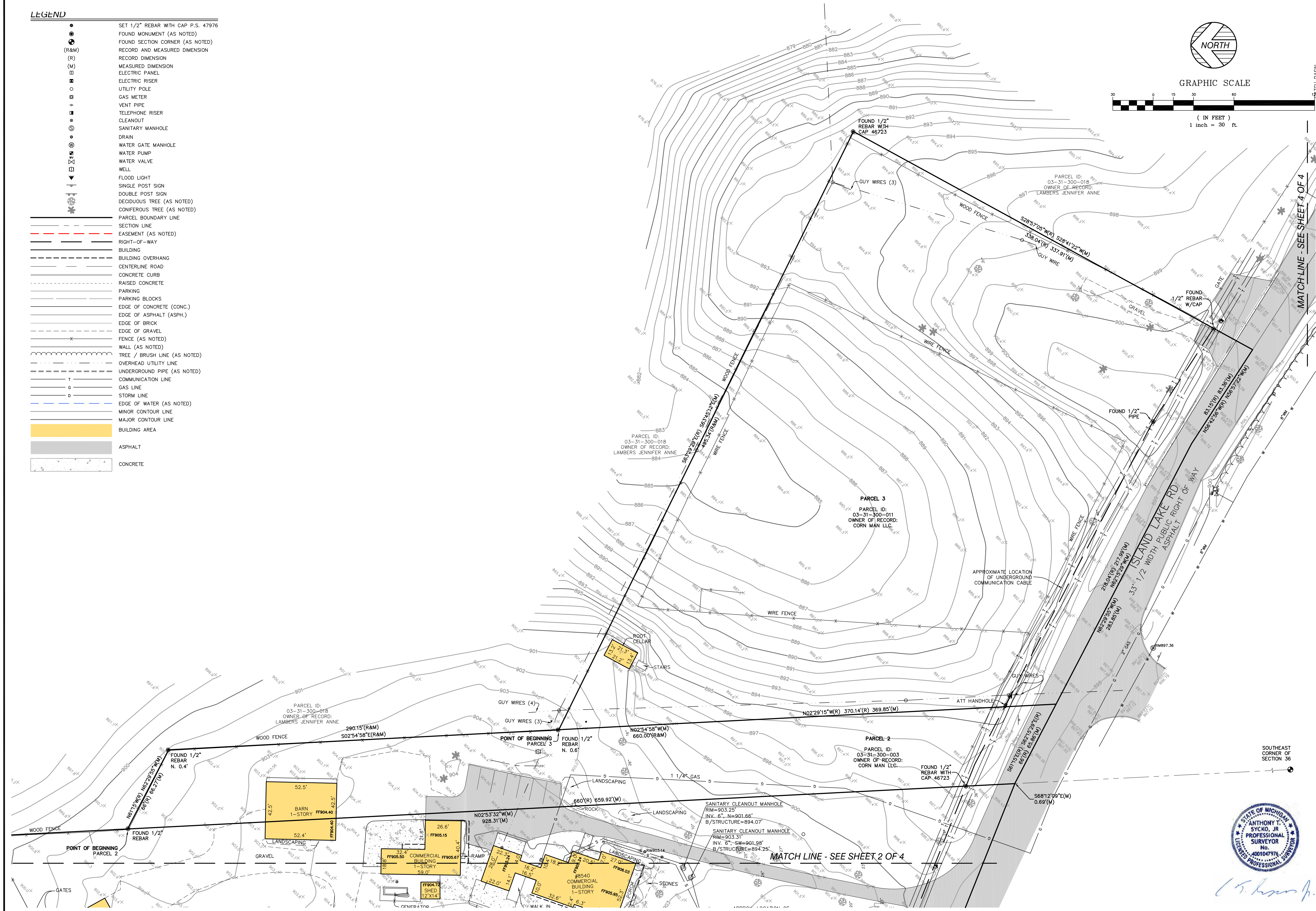
SCALE

2

2 OF 4 SHEETS

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ELECTRIC PANEL
- ELECTRIC RISER
- UTILITY POLE
- GAS METER
- VENT PIPE
- TELEPHONE RISER
- CLEANOUT
- SANITARY MANHOLE
- DRAIN
- WATER GATE MANHOLE
- WATER PUMP
- WATER VALVE
- WELL
- FLOOD LIGHT
- SINGLE POST SIGN
- DOUBLE POST SIGN
- DECIDUOUS TREE (AS NOTED)
- CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE ROAD
- CONCRETE CURB
- RAISED CONCRETE
- PARKING
- PARKING BLOCKS
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- TREE / BRUSH LINE (AS NOTED)
- OVERHEAD UTILITY LINE
- UNDERGROUND PIPE (AS NOTED)
- COMMUNICATION LINE
- GAS LINE
- D STORM LINE
- EDGE OF WATER (AS NOTED)
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



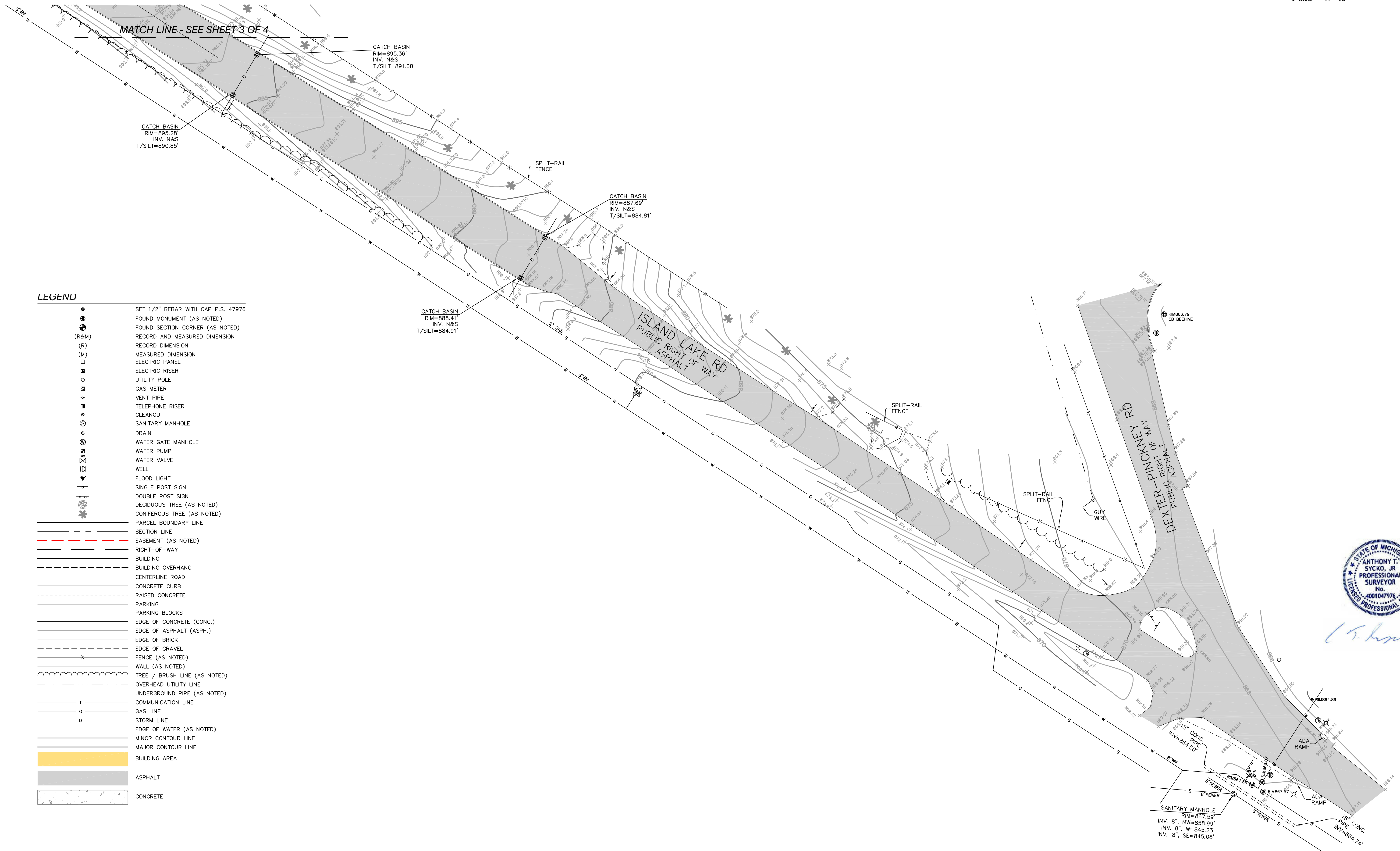
KEM-TEC
PROFESSIONAL ENGINEERING,
SURVEYING & ENVIRONMENTAL
SERVICES
A GROUP OF COMPANIES
Eastpointe
Ann Arbor
Detroit
(800) 255-7222
(313) 758-0877
(734) 994-0888
www.kemtecgroupofcompanies.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

REVISION	DATE	BY	DESCRIPTION
4	11/27/23	ATS	REVISED SEPTIC FIELD NOTE
3	10/27/23	MRJ	REVISED PER REVIEW COMMENTS
2	07/23/23	MRJ	ADDITIONAL UTILITY INFO
1	07/13/22	MRJ	ADDITIONAL TOPO

DRAWN BY:	DAH	07/14/22
CHECKED BY:	ATS	07/15/22
DATE:	JULY 15, 2022	
PROJECT NO:	22-01590	SCALE: 1" = 30'

3
3 OF 4 SHEETS



	SET 1/2" REBAR WITH CAP P.S. 47976
	FOUND MONUMENT (AS NOTED)
	FOUND SECTION CORNER (AS NOTED)
	RECORD AND MEASURED DIMENSION
	RECORD DIMENSION
	MEASURED DIMENSION
	ELECTRIC PANEL
	ELECTRIC RISER
	UTILITY POLE
	GAS METER
	VENT PIPE
	TELEPHONE RISER
	CLEANOUT
	SANITARY MANHOLE
	DRAIN
	WATER GATE MANHOLE
	WATER PUMP
	WATER VALVE
	WELL
	FLOOD LIGHT
	SINGLE POST SIGN
	DOUBLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	CONIFEROUS TREE (AS NOTED)
	PARCEL BOUNDARY LINE
	SECTION LINE
	EASEMENT (AS NOTED)
	RIGHT-OF-WAY
	BUILDING
	BUILDING OVERHANG
	CENTERLINE ROAD
	CONCRETE CURB
	RAISED CONCRETE
	PARKING
	PARKING BLOCKS
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	EDGE OF BRICK
	EDGE OF GRAVEL
	FENCE (AS NOTED)
	WALL (AS NOTED)
	TREE / BRUSH LINE (AS NOTED)
	OVERHEAD UTILITY LINE
	UNDERGROUND PIPE (AS NOTED)
	GAS LINE
	COMMUNICATION LINE
	STORM LINE
	EDGE OF WATER (AS NOTED)
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	BUILDING AREA
	ASPHALT
	CONCRETE

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
8540 ISLAND LAKE ROAD, DEXTER, MICHIGAN,
PART OF SECTION 36 & 31,
TOWN 1 SOUTH, RANGE 4 EAST

DATE	07/14/22				
CHECKED BY:	ATS	07/15/22	4	11/27/23	ATS
DATE:			3	10/27/23	MRJ
	JULY 15, 2022		2	07/23/23	MRJ
			1	07/13/22	MRJ
PROJECT NO.	22-01590	SCALE	1" = 30'	REVISION	DATE
				BY	DESCRIPTION
					REVISED SEPTIC FIELD NOTE
					REVISED PER REVIEW COMMENTS
					ADDITIONAL UTILITY INFO
					ADDITIONAL TOPO

STORMWATER MANAGEMENT CALCULATIONS

Dexter Township, Washtenaw County

Cornman Farm

Design Basis: Use the Washtenaw County Drain Commission standards, including "first flush", bankfull & 100 year storm event design measures.

I. Total Volume of Detention Area: 100 Year storm

1)	Developed area contributing runoff (a)	=	5.33	acres
	Surface	area	c factor	weighted c
	building	7862	0.95	0.03
	path	11943	0.95	0.05
	gravel/stone asphalt	48021	0.95	0.19
	water	11100	1.00	0.05
	grass	156963	0.35	0.23
		235889		0.55

	Developed Runoff Coefficient (c)	=	0.55	
2)	Maximum Allowable Runoff, $Q_a = (a \cdot 0.15 \text{ cfs/acre})$	=	0.80	cfs
3)	Calculate $Q_o = Q_a / (a \cdot c)$ (max. outflow per acre imperv.)	=	0.27	cfs/acre imperv.
4)	Max. Storage Time, $T = -25 + \sqrt{(10312.5 \cdot Q_o)}$	=	170.00	minutes
5)	Max. Storage Required, $V_s = ((16500 \cdot T) / (T + 25)) - 40Q_oT$	=	12,540	cf/acre imperv.
6)	Detention - Total Storage Required, $V_t = V_s \cdot a \cdot c$	=	36,970	c.f.

II.	Storage volume to detain "first flush" runoff volume of 0.5 inch rain over entire watershed. Volume = 1815 x acreage x relative imperv. factor	=	5,351	cf
-----	--	---	-------	----

III.	Storage volume to control "bankfull" flood (1.5 year storm/24 hr. event) Volume = 8170 x acreage x relative imperv. factor (c)	=	24,086	cf
------	---	---	--------	----

IV.	Required Sediment Volume Store 5% of the 100-year storm	=	1849	cf
-----	--	---	------	----

V.	Basin volume provided			
	Storage Provided			
	Elev.	Area	Avg. Area	Height
	886.0	10977	19664	1.0
	887.0	28350	34175	1.0
	888.0	40000		53839
	Storage Elevations	Xo = 886.00 Xhf = 887.13	Xf = 886.27 X100 = 887.51	

Outlet Control Structure

1. Outlet pipe sizing: (10 year un-restricted)

Use 12-inch pipe at min. slope

2. Standpipe outlet holes sizing - "first flush" runoff

$Q_{ff} = V_{ff} / 24 \text{ hrs} / 3600 \text{ sec}$	$Q_{ff} =$	0.062	cfs
$h = 2/3 \times (X_{ff} - X_o)$	$h =$	0.181	ft
$A = Q_{ff} / 62 \times \sqrt{(2 \times 32.2 \times h)}$	$A =$	0.029	sf
The area of a 1" orifice is		0.0055	sf
Number of orifice holes	=	5	holes at elev. 886.00

3. Standpipe outlet holes sizing - "Bankfull flood" discharge

Bankfull should discharge within 36 to 48 hours			
Release from first flush holes only			
$Q = a \times 62 \times \sqrt{(2 \times 32.2 \times h)}$	$Q =$	0.119	cfs
$T_{ff} = \text{first flush holes only}$		56	hrs
Add holes at to decrease storage time			
The first flush volume will discharge in		25.5	hrs
The volume between the Bankfull elevation and the First Flush Elevation			
$V_{ff} - V_{ff} =$		18,735	cf
should discharge (target 42 hour discharge time) in		16.5	hrs
$Q_{ff} =$		0.32	cfs
$A = \text{area of bankfull holes}$		0.050	sf
The area of a 1" orifice		0.0055	sf
Number of orifice holes	=	9	holes at elev. 886.27
bankfull storage time check =		42	hrs

4. Standpipe outlet holes sizing - "100-yr flood" discharge

$Q_{100} = Q_a$	$Q_{100} =$	0.800	cfs
Release from above holes			
$h_{ff} = (X_{100} - X_o)$	$h_{ff} =$	1.51	ft
$h_{ff} = (X_{100} - X_{ff})$	$h_{ff} =$	1.234	ft
Release from above holes			
$Q = a \times 62 \times \sqrt{(2 \times 32.2 \times h_{ff})} = a \times 62 \times \sqrt{(2 \times 32.2 \times h_{ff})}$	$Q =$	0.442	cfs
Remaining flow	$Q_{100} - Q =$	0.358	cfs
$A = Q_{100} / (62 \times \sqrt{(2 \times 32.2 \times h)})$	$A =$	0.117	sf
The area of a 1-1/2" orifice		0.0123	sf
Number of orifice holes	=	9	holes at elev. 887.13

Drainage Narrative

Cornman Farm, Dexter Township
April 8, 2013

The proposed stormwater runoff from the expansion of the farm/special event facility will be collected and stored in a newly created wetland/detention basin. The basin was designed in accordance with requirements of the Washtenaw County Water Resource Commissioners office. This includes:

- Storing the stormwater runoff from the proposed expansion area. The volume required/provided is for a 100-year storm event.
- A new outlet control structure that will control the release rates for first flush, bankfull and 100-year storm events.
- By maintaining a large shallow area, the wetland detention area will encourage infiltration in to the existing soils and evaporation.

Detailed storm computations and drainage areas are shown on sheet SP 5.0 of the site plan.

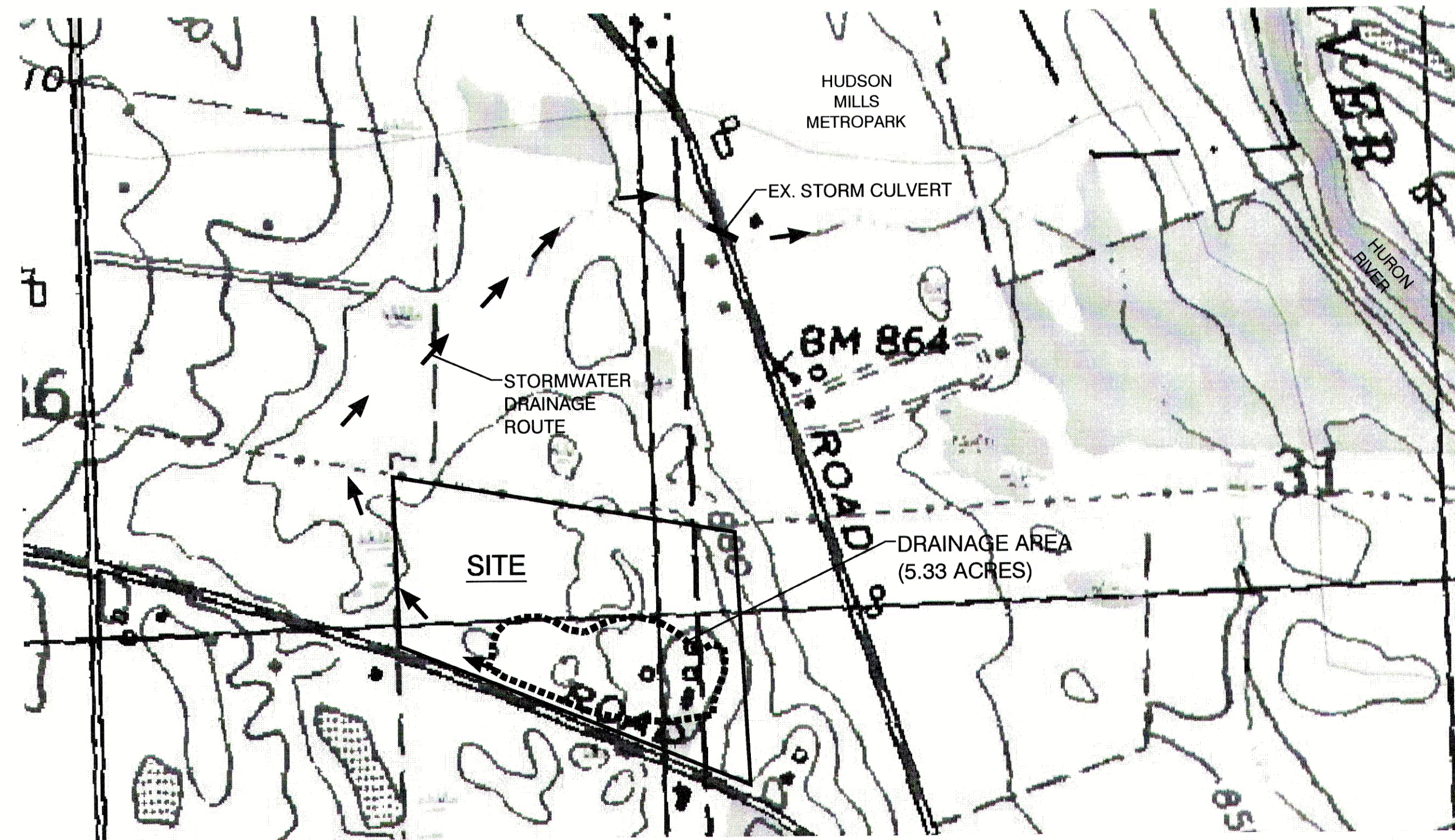
Engineers Certificate of Outlet

April 8, 2013

Cornman Farm

Dexter Township, Washtenaw County, MI

I hereby certify that I am a licensed engineer in the State of Michigan. The existing drain/wetland system is the only reasonable available storm water outlet for the proposed storm water management system and that the existing system has sufficient capacity to serve as an adequate outlet to the proposed system, without detriment or diminution of the drainage service that the existing outlet provides.

Todd Pascoe, PE
MI License #36125

STORM DRAINAGE OUTLET

NOT TO SCALE

Maintenance Tasks and Schedule (during construction)

Tasks	Components	Schedule
Inspect for sediment accumulation	Storm Sewer System	Weekly
Removal of sediment accumulation	Catch Basin Sumps	As needed* and prior to turnover
Inspect for floatables and debris	Catch Basin Inlet Casings	Quarterly
Cleaning of floatables and debris	Channels	Quarterly and at turnover
Inspection for erosion	Outflow Control Structures	Weekly
Reestablish permanent vegetation on eroded slopes	Rip-Rap	As needed* and prior to turnover
Replacement of gravel jackets	Filtration Basins	As needed*
Mowing	Storm Detention Areas	0 to 2 times per yr.
Inspect structural elements during wet weather and compare as-built plans (by a professional engineer reporting to the Developer)	Wetlands	Annually and at turnover
Make adjustments or replacements as determined by pre-turnover inspection	Emergency Overflow	As needed*

* "as needed" means when sediment has accumulated to a maximum of one foot depth.

Maintenance Tasks and Schedule (following construction)

Tasks	Components	Schedule	Annual Cost
Inspect for sediment accumulation	Streets	Annually	\$50.00
Removal of sediment accumulation	Storm Sewer System	Every 5-10 yrs as needed	\$50.00
Inspect for floatables and debris	Catch Basin Sumps	Annually	\$50.00
Cleaning of floatables and debris	Catch Basin Inlet Casings	Annually	\$50.00
Inspection for erosion	Channels	Annually	\$50.00
Reestablish permanent vegetation on eroded slopes	Outflow Control Structures	As needed	\$200.00
Replacement of gravel jackets	Rip-Rap	Every 3-5 yrs as needed	\$100.00
Clean Pavement	Filtration Basins	Annually	\$100.00
Mowing	Storm Detention Areas	0 to 2 times per yr.	\$400.00
Make adjustments or replacements as determined by wet weather inspection	Wetlands	As needed	\$50.00
	Emergency Overflow		\$1,100.00



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2013 ATWELL LLC NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC

SITE PLAN APPROVED

Permit No. 13-2P-5372

Zoning Inspector

Date: 6/17/13

Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources

ATWELL

866.850.4200 | www.atwell-group.com
OFFICES IN NORTH AMERICA AND ASIA

SECTION 36

TOWN 1 SOUTH, RANGE 4 EAST

DEXTER TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CORNMAN FARM

COMBINED

PRELIMINARY/FINAL SITE PLAN

STORMWATER MANAGEMENT PLAN

DATE

APRIL 09, 2013

REVISIONS/SUBMITTALS

02-22-2013

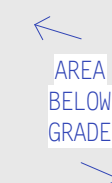
COMBINED SITE PLAN SUBMITTAL

04-09-2013

REVISED PER TOWNSHIP

05-30-2013

REVISED PER TOWNSHIP & OWNER



1. DO NOT SCALE FROM DRAWINGS. ARCHITECT TO PROVIDE ADDITIONAL DIMENSIONS AS REQUESTED.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IF DISCREPANCIES EXIST, CONSULT ARCHITECT.
3. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL.
4. ALL DRYWALL TO BE 5/8", UNLESS OTHERWISE NOTED, AND IS TO BE GLUED AND SCREWED AT ALL LOCATIONS.
5. PROVIDE SOLID, FIRE-RATED, WOOD BLOCKING AT ALL LOCATIONS FOR WALL-MOUNTED ITEMS.
6. INCLUDE CUTTING, CORING, REMOVAL, REINFORCEMENT, AND REPLACEMENT AS REQUIRED OF CONCRETE FLOOR, WOOD-JOIST SYSTEMS, MASONRY WALLS, AND OTHER (E) BUILDING ASSEMBLIES TO ACCOMMODATE ALTERATION PLANS.
7. ANY EXPOSED CONDUIT, DUCTWORK, OR PLUMBING TO BE AS MINIMAL AS POSSIBLE. LAYOUT TO BE COORDINATED WITH AND APPROVED BY ARCHITECT.
8. ALL MECHANICAL TERMINATIONS TO BE ALIGNED WITH LIGHT FIXTURES. IF CONFLICT IS PRESENT, THE LOCATION OF THE LIGHT FIXTURE TO TAKE PRECEDENCE.
9. FRAMING LAYOUT TO BE COORDINATED TO ACCOMMODATE CEILING LAYOUT, ESPECIALLY AS IT RELATES TO RECESSED FIXTURES, EXHAUST FAN HOUSING, AND OTHER COMPONENTS MOUNTED IN THE DEPTH OF THE FRAMING.
10. AS LINES, LINE SETS, AND OTHER INFRASTRUCTURE TO BE RUN EFFICIENTLY AND CONCENTRATED IN PARALLEL WHENEVER POSSIBLE.
11. SCOPE TO INCLUDE ALL NECESSARY DEMO, BEYOND WHAT IS SHOWN, TO ACCOMMODATE THE ALTERATION PLANS.
12. ALL GRADING SHOWN ON ARCHITECTURAL SHEETS IS EXISTING AND SPECULATIVE AND IS SHOWN ONLY AS GUIDANCE. FOR ALL PROPOSED GRADING AND DRAINAGE, REFER TO CIVIL SHEETS.

A-
1.00

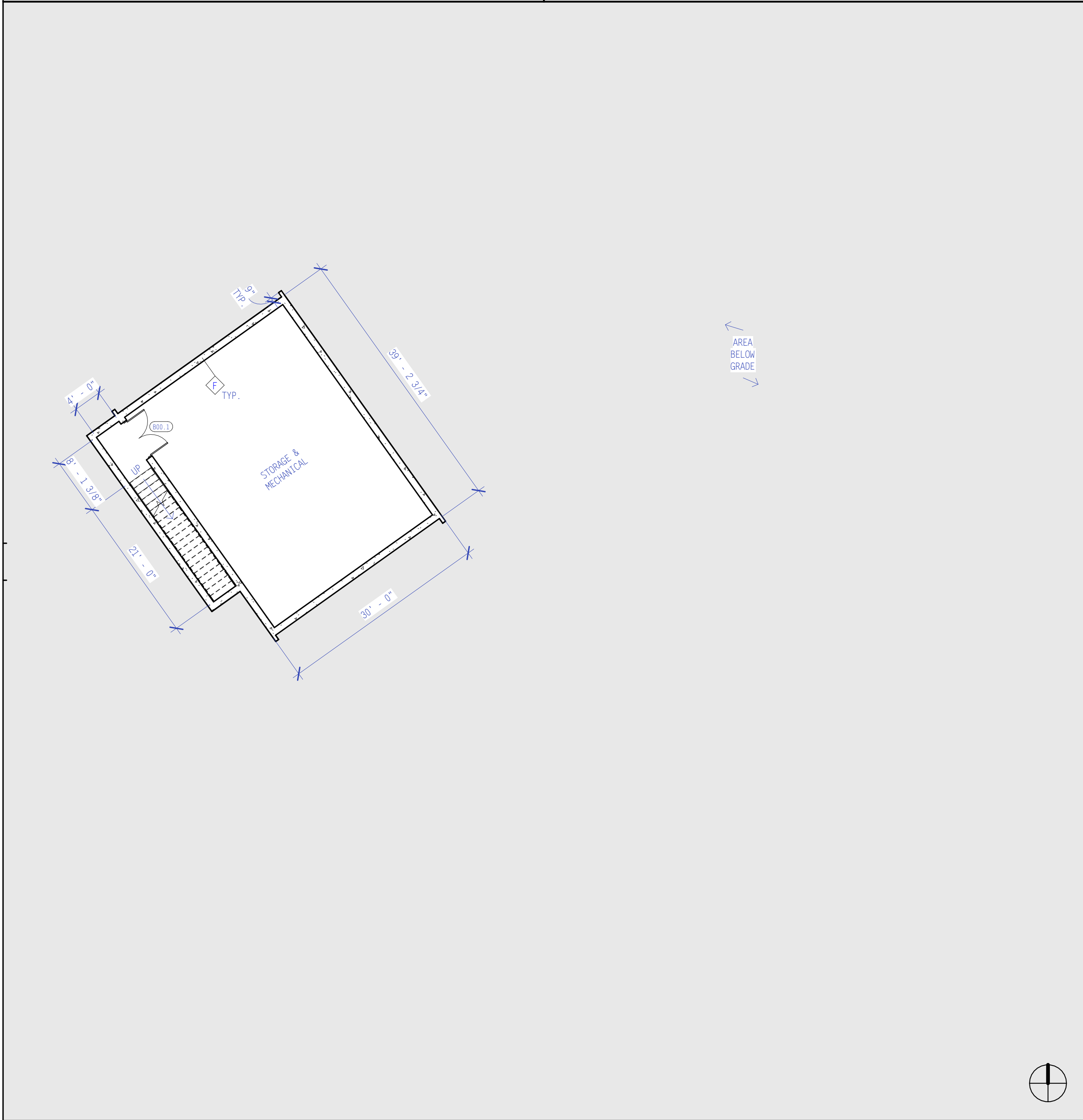
			<div>1. DO NOT SCALE FROM DRAWINGS. ARCHITECT TO PROVIDE ADDITIONAL DIMENSIONS AS REQUESTED.</div> <div>2. ALL DIMENSIONS TO BE VERIFIED IN FIELD. IF DISCREPANCIES EXIST, CONSULT ARCHITECT.</div> <div>3. ALL DIMENSIONS ARE FROM FACE OF FINISH WALL.</div> <div>4. ALL DRYWALL TO BE 5/8", UNLESS OTHERWISE NOTED, AND IS TO BE GLUED AND SCREWED AT ALL LOCATIONS.</div> <div>5. PROVIDE SOLID, FIRE-RATED, WOOD BLOCKING AT ALL LOCATIONS FOR WALL-MOUNTED ITEMS.</div> <div>6. INCLUDE CUTTING, CORING, REMOVAL, REINFORCEMENT, AND REPLACEMENT AS REQUIRED OF CONCRETE FLOOR, WOOD-JOIST SYSTEMS, MASONRY WALLS, AND OTHER (E) BUILDING ASSEMBLIES TO ACCOMMODATE ALTERATION PLANS.</div> <div>7. ANY EXPOSED CONDUIT, DUCTWORK, OR PLUMBING TO BE AS MINIMAL AS POSSIBLE; LAYOUT TO BE COORDINATED WITH AND APPROVED BY ARCHITECT.</div> <div>8. ALL MECHANICAL TERMINATIONS TO BE ALIGNED WITH LIGHT FIXTURES. IF CONFLICT IS PRESENT, THE LOCATION OF THE LIGHT FIXTURE TO TAKE PRECEDENCE.</div> <div>9. FRAMING LAYOUT TO BE COORDINATED TO ACCOMMODATE CEILING LAYOUT, ESPECIALLY AS IT RELATES TO RECESSED FIXTURES, EXHAUST FAN HOUSING, AND OTHER COMPONENTS MOUNTED IN THE DEPTH OF THE FRAMING.</div> <div>10. AS LINES, LINE SETS, AND OTHER INFRASTRUCTURE TO BE RUN EFFICIENTLY AND CONCENTRATED IN PARALLEL WHENEVER POSSIBLE.</div> <div>11. SCOPE TO INCLUDE ALL NECESSARY DEMO, BEYOND WHAT IS SHOWN, TO ACCOMMODATE THE ALTERATION PLANS.</div> <div>12. ALL GRADING SHOWN ON ARCHITECTURAL SHEETS IS EXISTING AND SPECULATIVE AND IS SHOWN ONLY AS GUIDANCE. FOR ALL PROPOSED GRADING AND DRAINAGE, REFER TO CIVIL SHEETS.</div>
--	--	--	--

SLOW
TIDE

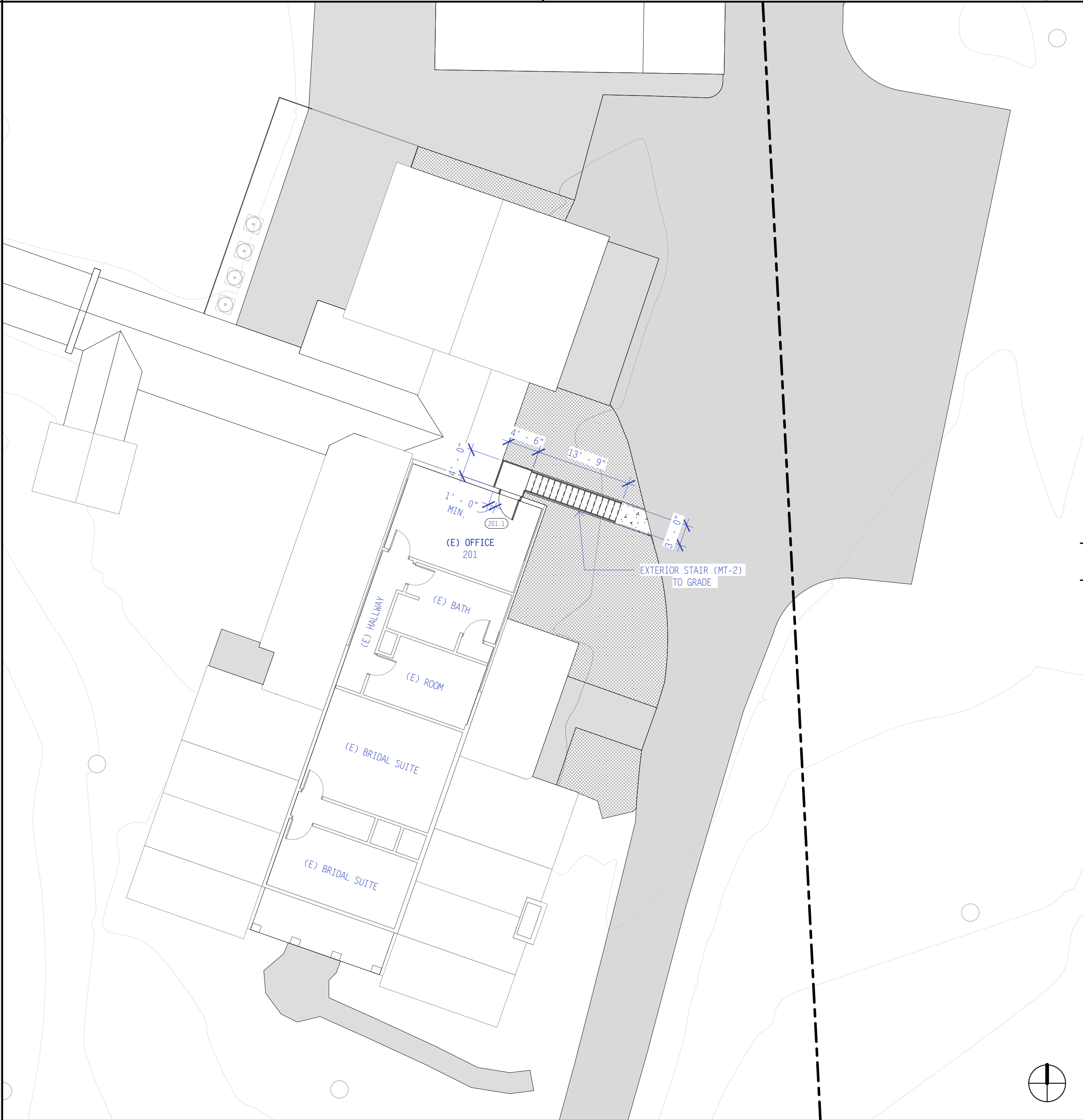
SLOWTIDE.STUDIO,
ARCHITECTS

1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

		GENERAL NOTES - FLOOR PLAN (B & SF)	3
--	--	-------------------------------------	---



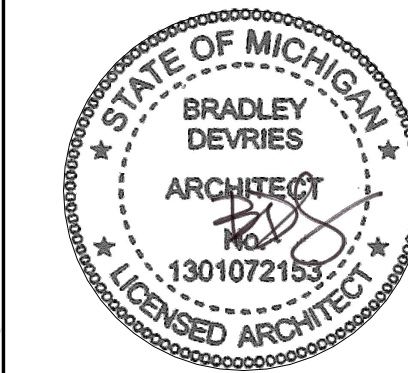
FLOOR PLAN - BASEMENT
3/32" = 1'-0"



FLOOR PLAN - SECOND FLOOR
3/32" = 1'-0"

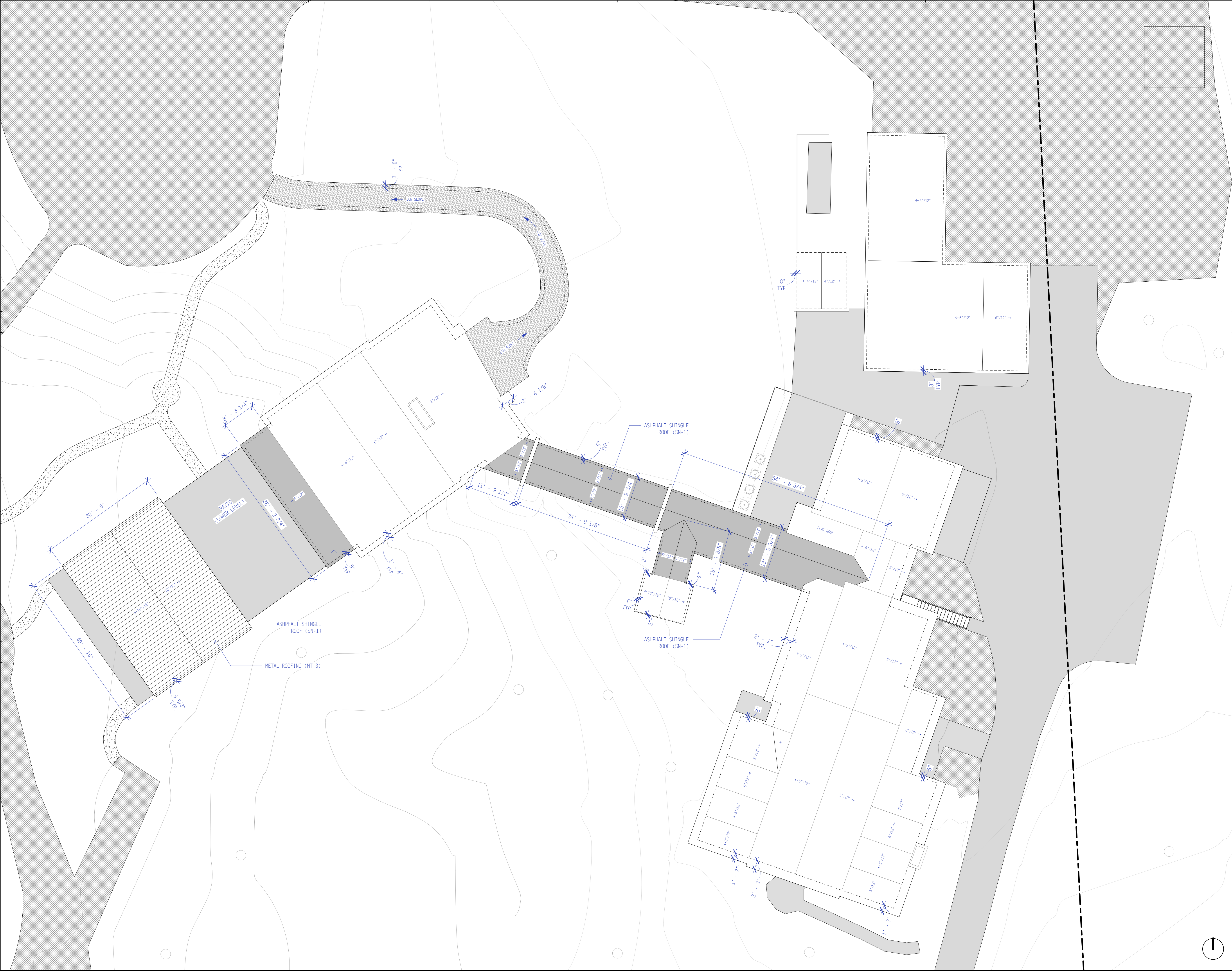
CORNMAN FARMS

FLOOR PLAN - SECOND FLOOR &
BASEMENT



PROJECT ISSUE DATE:
12 - 08 - 2023

A-
1.02



SLOWTIDE.STUDIO,
ARCHITECTS

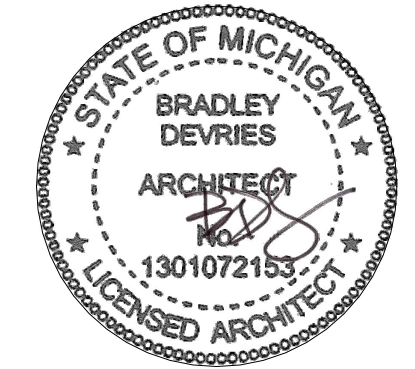
1145 W LONG LAKE ROAD - SUITE 110
BLOOMFIELD HILLS - MICHIGAN - 48302
HELLO @ SLOWTIDE.STUDIO & 248.891.2737

CORNMAN FARMS

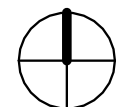
8540 ISLAND LAKE ROAD - DEXTER TOWNSHIP - MICHIGAN 48130

ROOF PLAN

FINAL SITE PLAN REVIEW DOCUMENTS



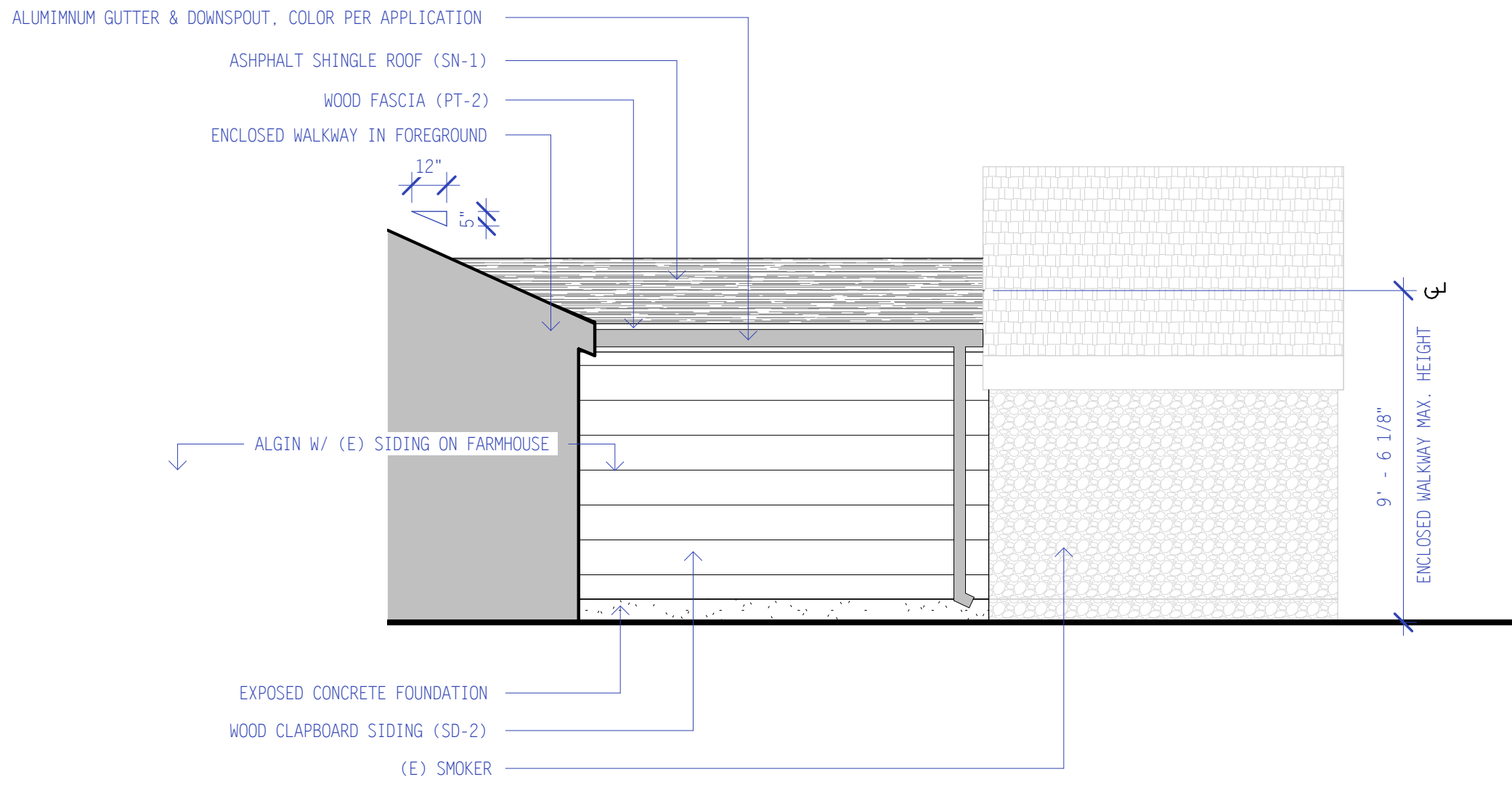
PROJECT ISSUE DATE:
12 - 08 - 2023



ROOF PLAN
3/32" = 1'-0"

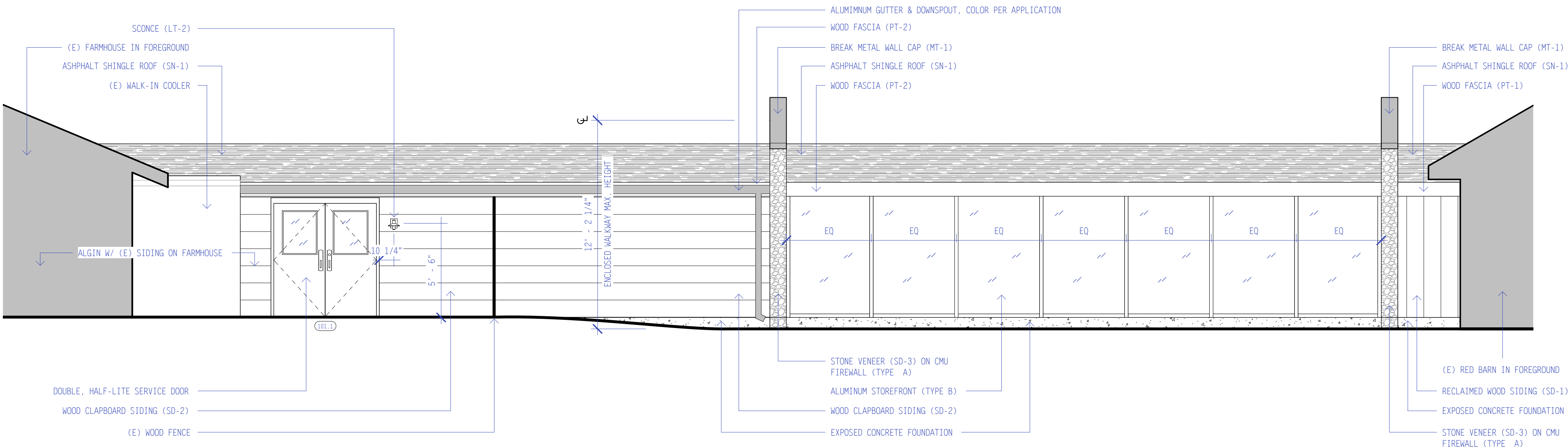
1

A-
1.40



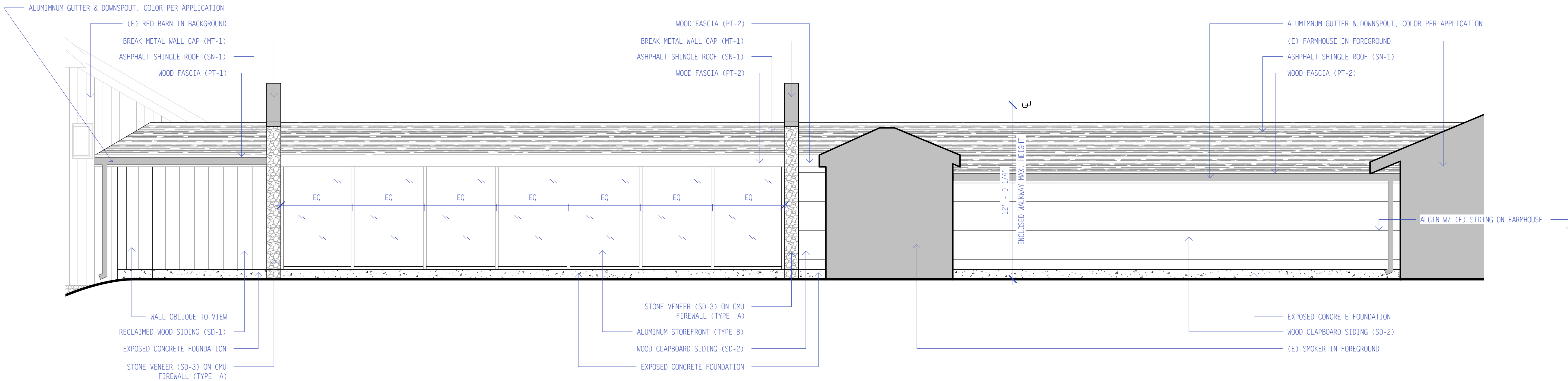
ENCLOSED WALKWAY, W
1/4" = 1'-0"

3



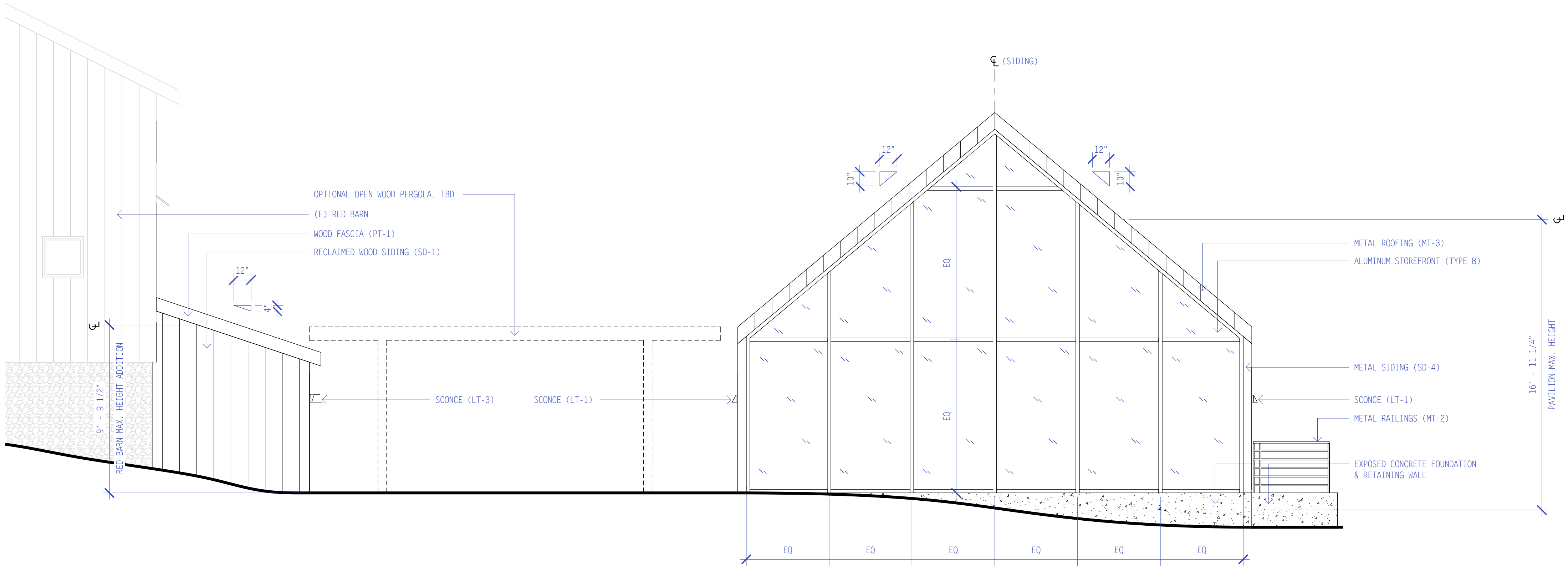
ENCLOSED WALKWAY, N
1/4" = 1'-0"

2



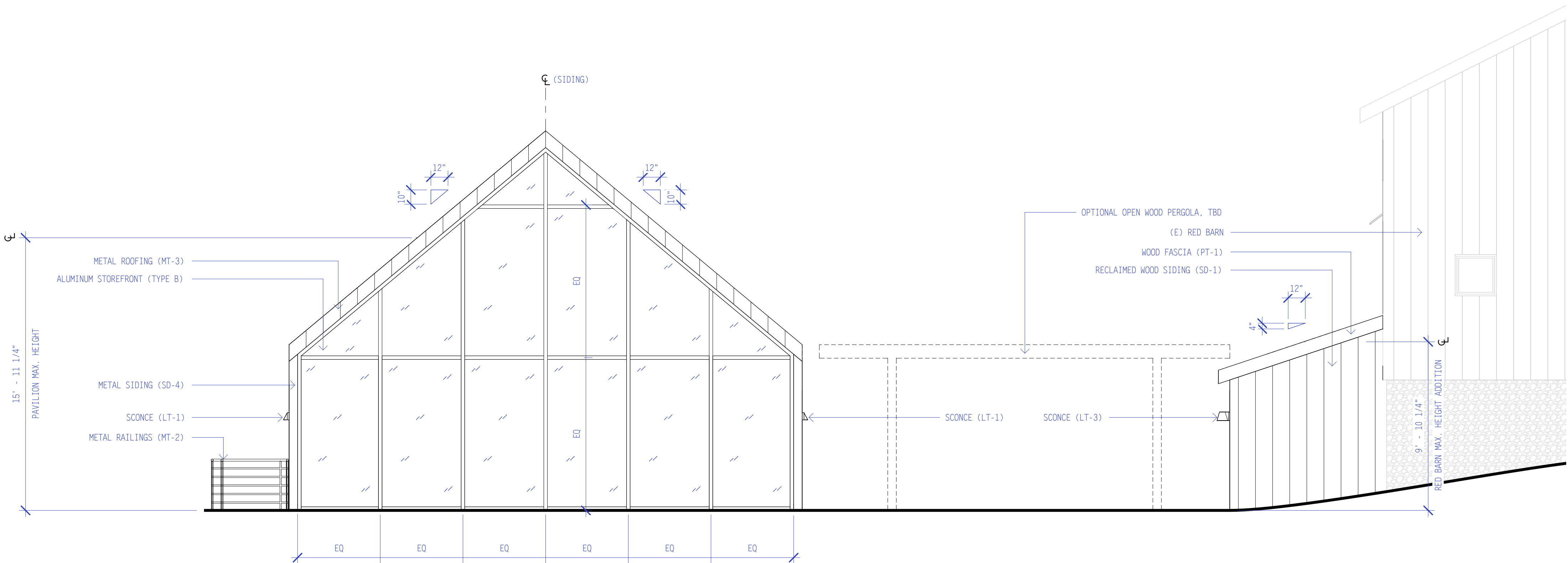
ENCLOSED WALKWAY, S
1/4" = 1'-0"

1



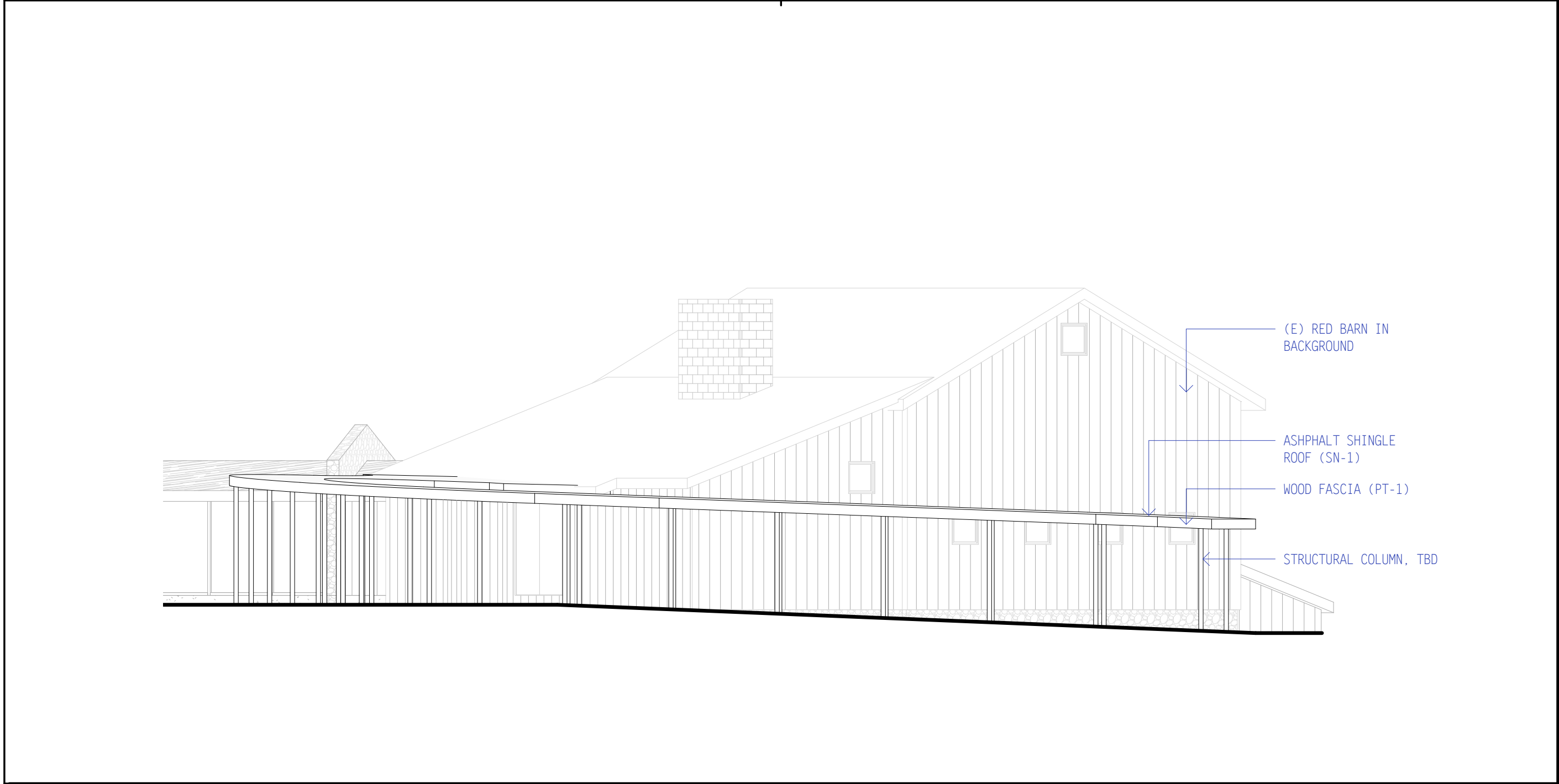
PAVILION & RED BARN, NW

1/4" = 1'-0"

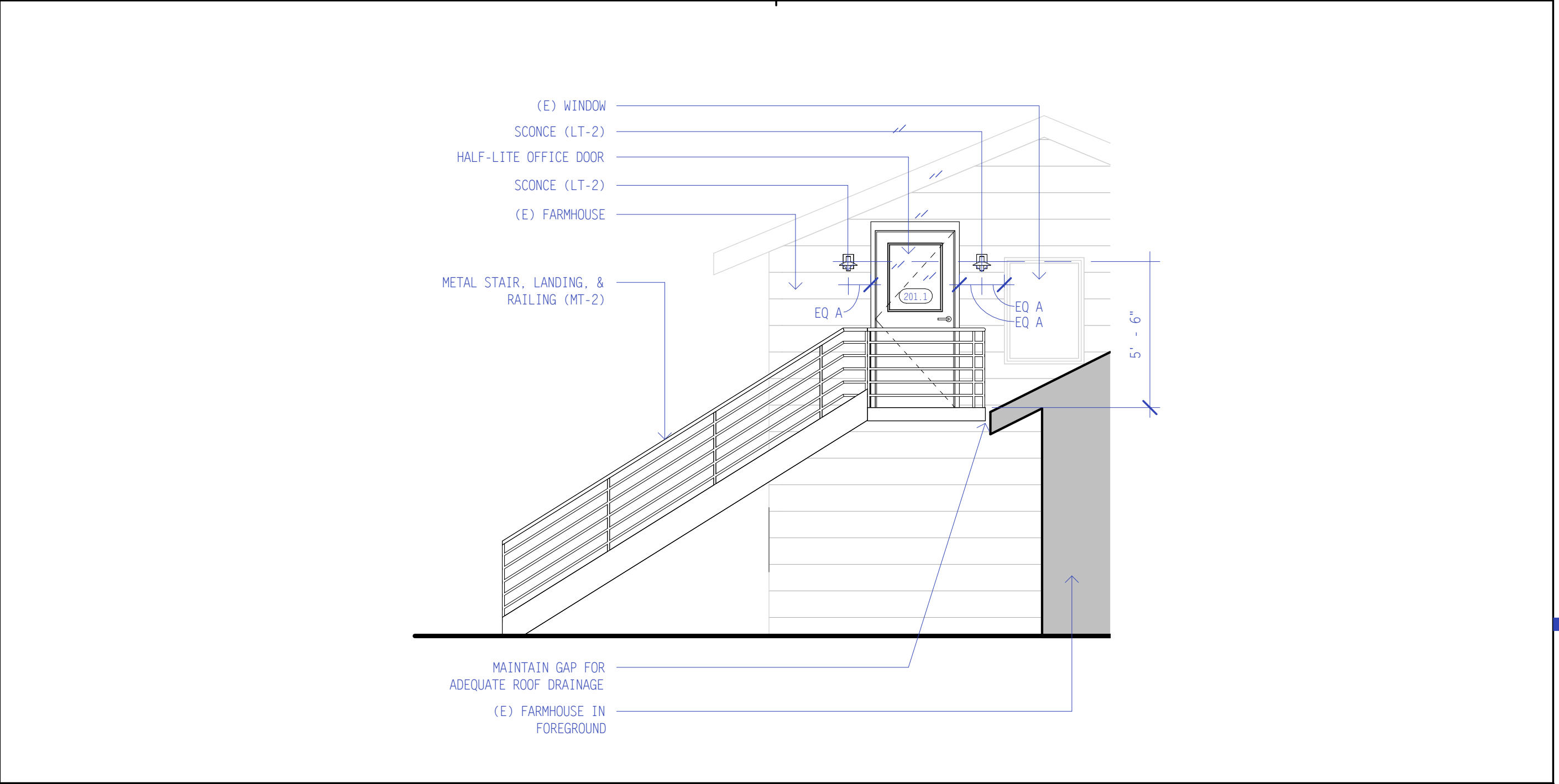


PAVILION & RED BARN, SE

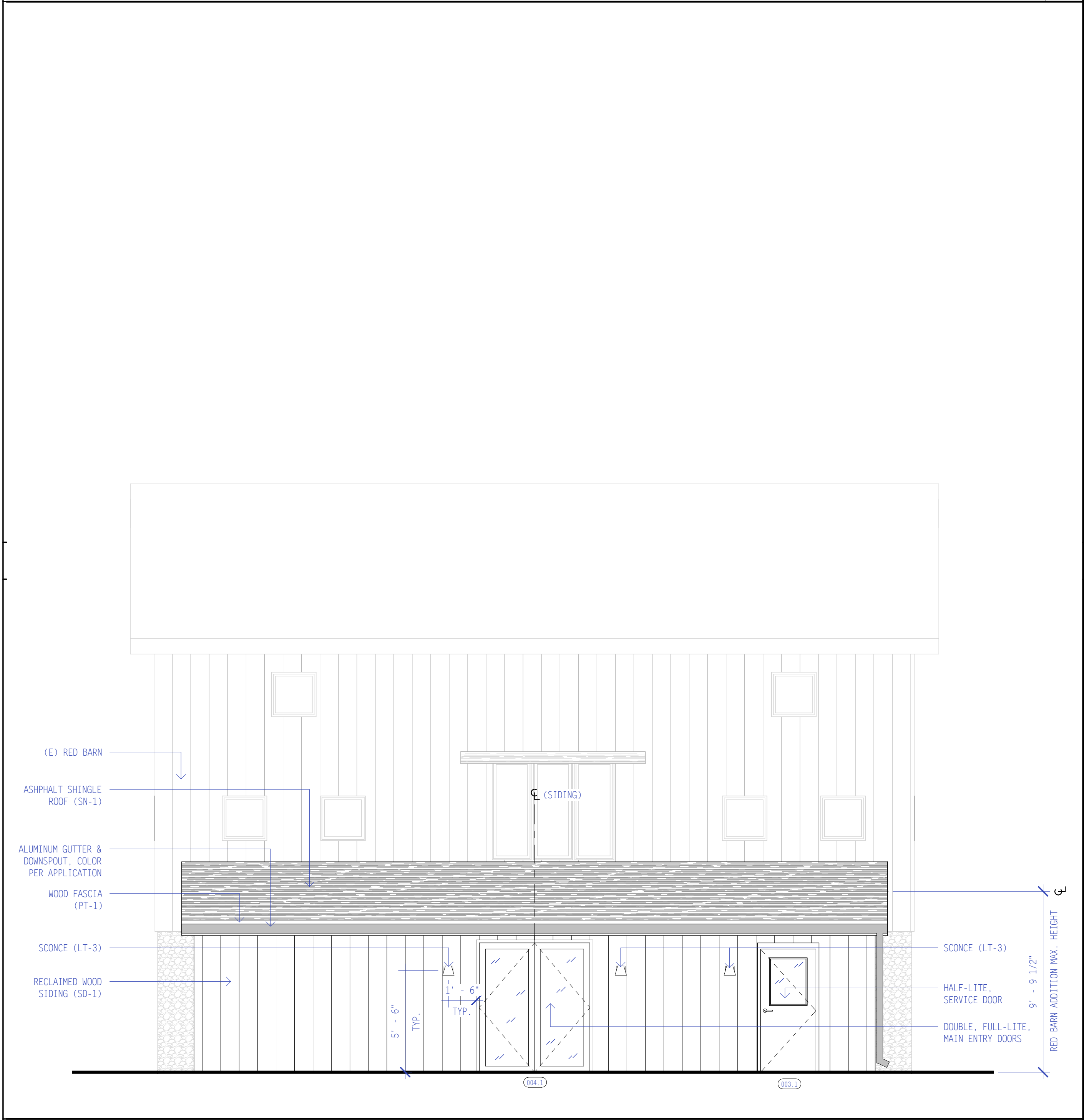
1/4" = 1'-0"



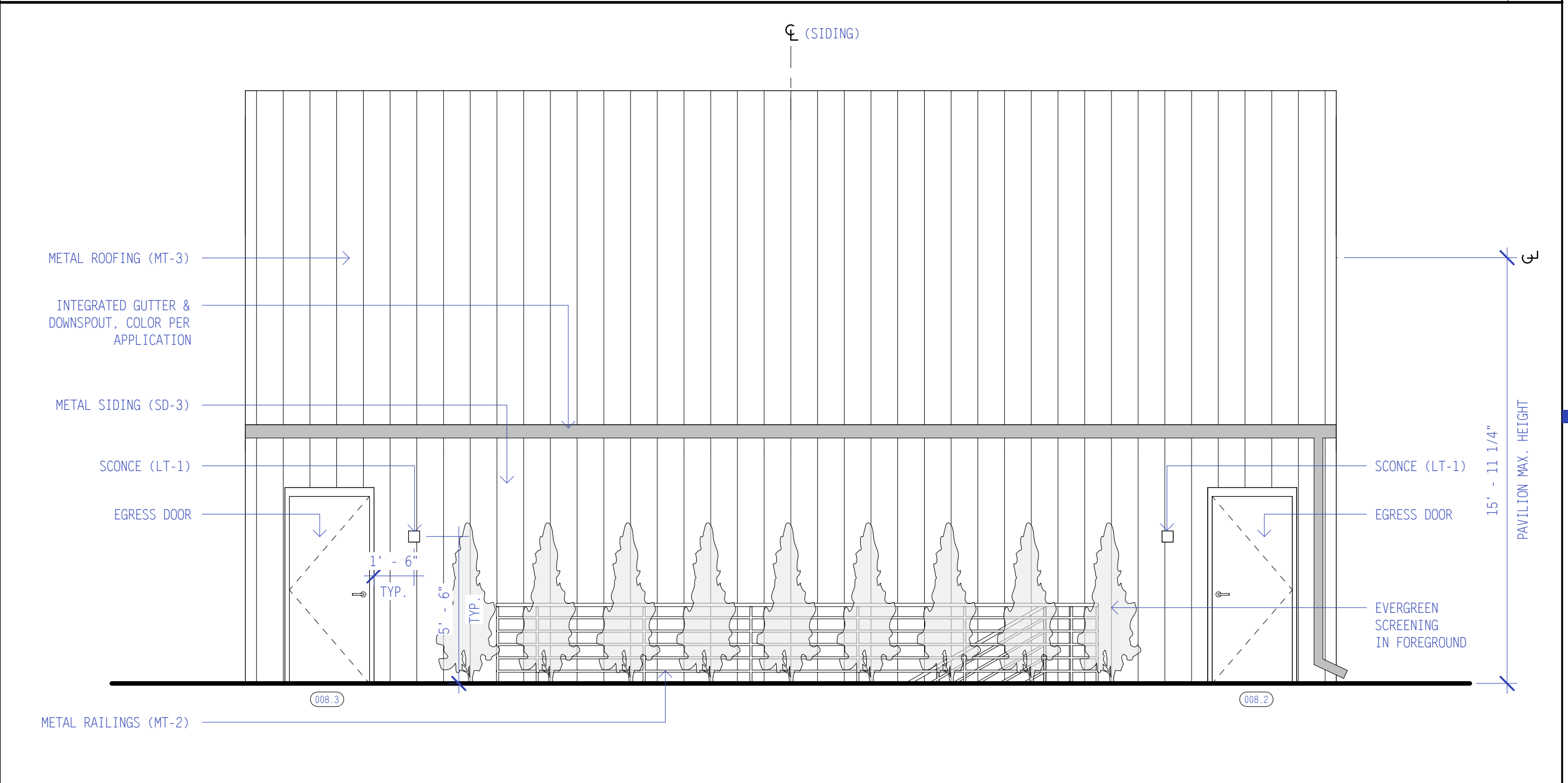
COVERED WALKWAY, N (TYP.)
1/8" = 1'-0" 9



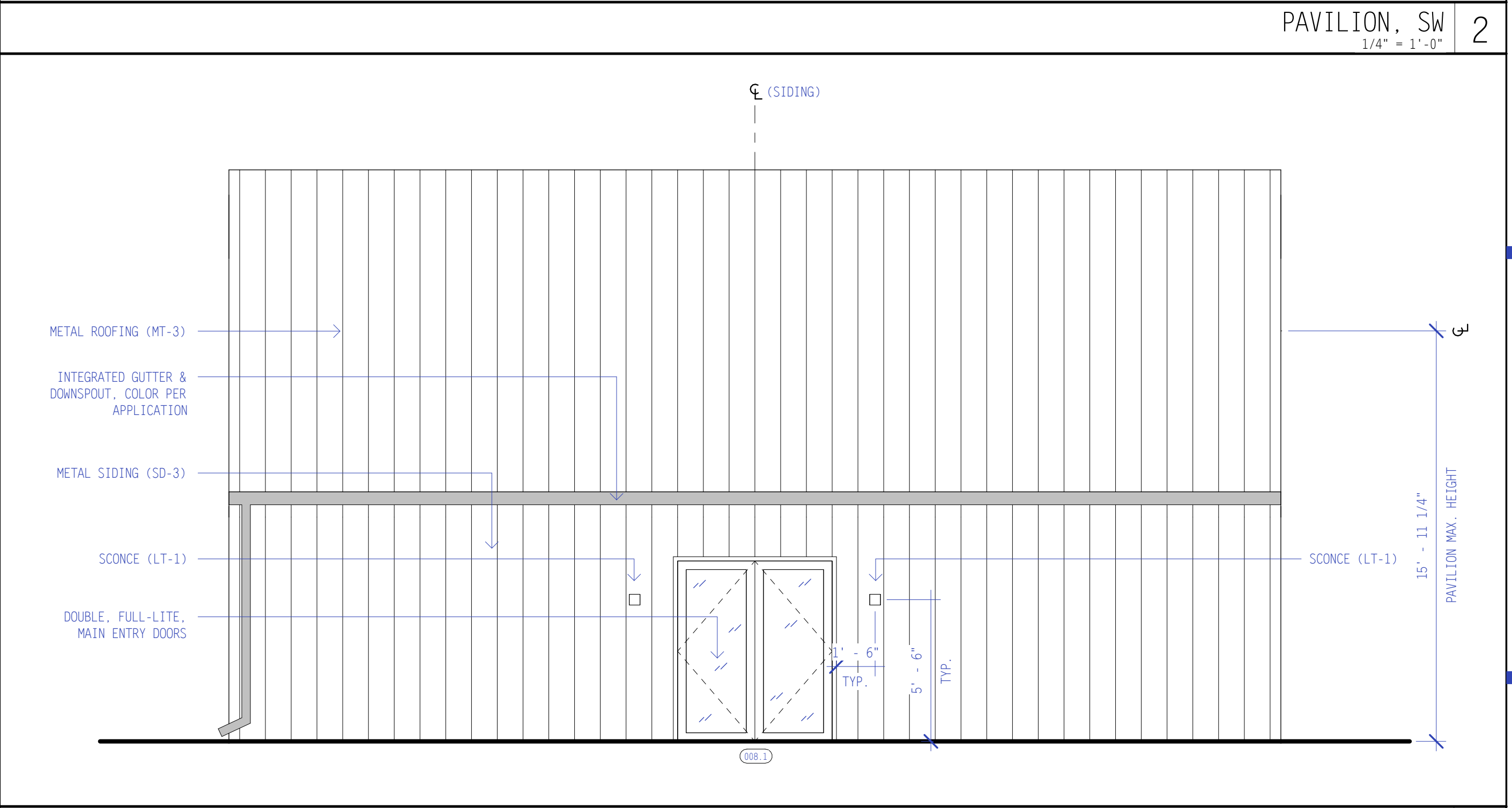
FARMHOUSE, N
1/4" = 1'-0" 3



RED BARN, SW
1/4" = 1'-0" 7



PAVILION, SW
1/4" = 1'-0" 2

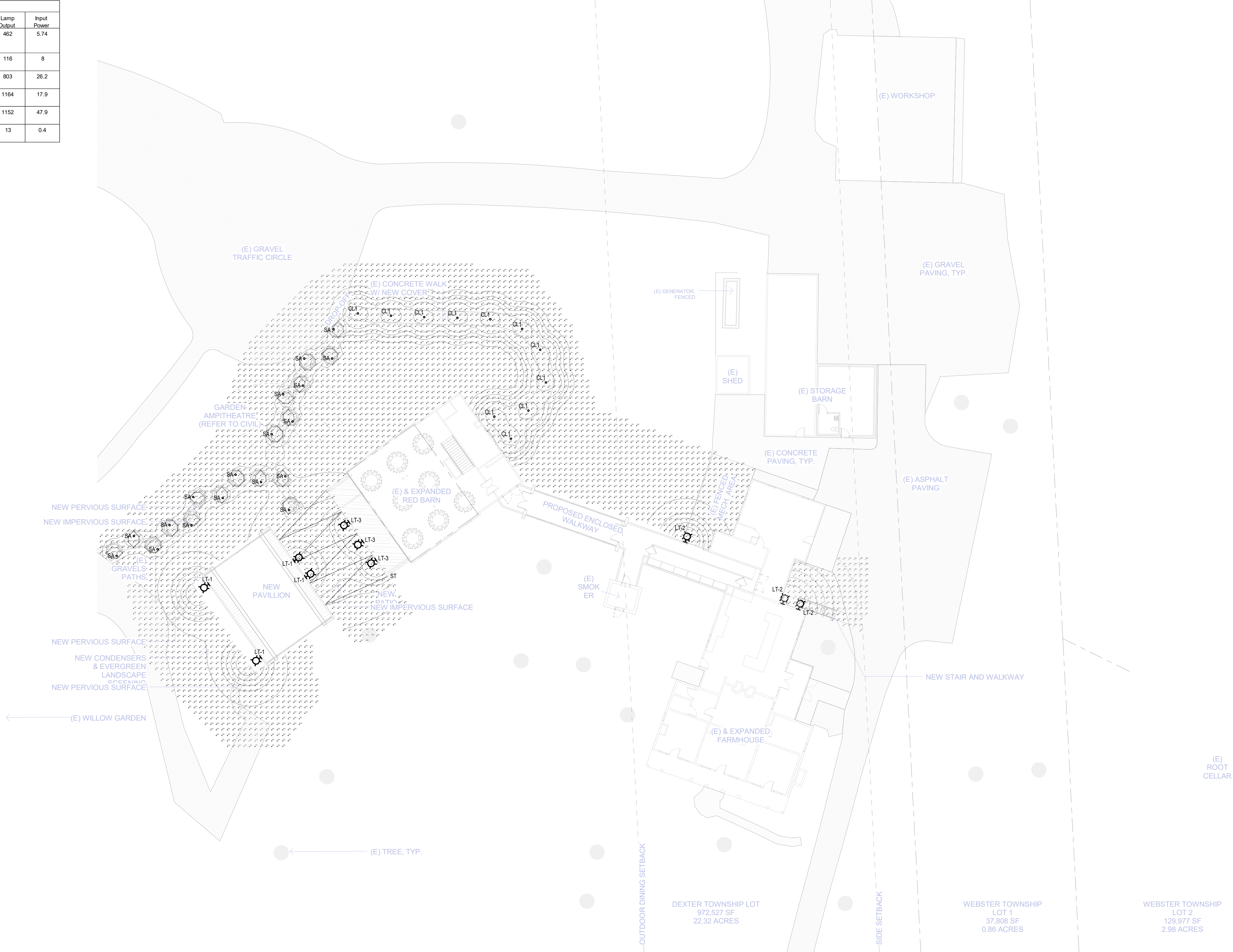



PAVILION, NE
1/4" = 1'-0" 1

12/6/2023 3:26:50 PM
A:\bids\Docs\Greenpath - Zingman Cornmeal Expansion\23061622.rvt

Schedule						
Label	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power
CL1	Lithonia Lighting	LDN4CYL 30/05 LO4AR LD	4IN LDN CYLINDER, 3000K, 500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CR180 Mounted 1" above bottom of canopy.	1	462	5.74
SA	MP Lighting	L933 3000k 90cri 8 watt wide beam	L933 3000k 90cri 8 watt wide beam 24" tall bollard	4	116	8
SC1	VISUAL COMFORT	700OWSPITSC-LED830	LED Wall-Mount Luminaire 5'6" above finished grade	1	803	26.2
SC2	VISUAL COMFORT	700OWASHH93008CBUN V	LED WALL SCONCE 5'6" above finished grade	1	1164	17.9
SC3	VISUAL COMFORT	700WSBOW6W-LED830	LED Wall Sconce mounted at 5'6" above finished grade	1	1152	47.9
ST	Trivoli, LCC	LSL2-B-12-H-30-F	String lights 24" on center mounted at 9' above finished grade	1	13	0.4

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting Calculations	+	1.0 fc	84.2 fc	0.0 fc	N/A	N/A



 **ELECTRICAL SITE PLAN**
SCALE: 1" = 20'-0"

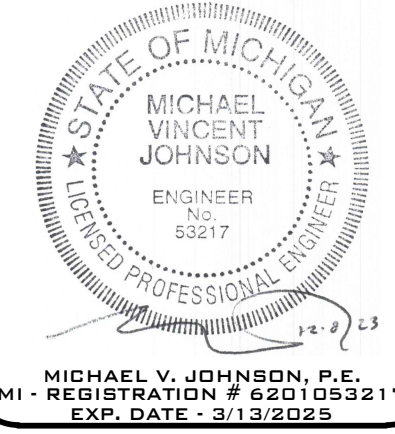
SITE PLAN LEGEND

 LEGEND SYMBOL INDICATOR

GENERAL SITE ELECTRICAL NOTES

- A. ALL CONDUITS BELOW PAVED AREAS SHALL BE BURIED PER NEC REQUIREMENTS BUT A MINIMUM OF 3'-0" BELOW GRADE.
- B. ALL CONDUITS BELOW GRASS AREAS SHALL BE BURIED PER NEC REQUIREMENTS BUT A MINIMUM OF 2'-0" BELOW GRADE.
- C. COORDINATE CONDUIT INSTALLED FOR UTILITIES WITH RESPECTIVE UTILITY. PROVIDE STEEL PULL WIRE AND MEASURE PULL STRING IN EACH CONDUIT. ALL ELBOWS SHALL BE LONG SWEEP R.M.C.
- D. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH PULL STRING.

WPF ENGINEERING, LLC
8200 PEACHTREE AVE
ROCKFORD, MI 49341
WWW.WPF-ENGINEERING.COM



**EXPANSION FOR
CORNMAND FARMS**
8540 ISLAND LAKE ROAD
DEXTER TOWNSHIP, MICHIGAN 48130

D.B. MVJ
A.B. MVJ

DATE 12/8/23 ISSUED FOR S.P.A. & S.L.U. DOCUMENTS

DRAWING NAME
ELECTRICAL SITE PLAN

DRAWING NUMBER
ES101

L933

EXTERIOR

Bollard For landscape driveways, pathways, and gardens

- Wet, Damp, and Dry location



Ordering Information

Date: _____ Quantity: _____
 Project: _____ Note: _____
 Type: **SA**

Specifications

Luminaire | Example Code: L933-B3-PS-1-B-W30H-N-ELB-WS-S6

Product	Canopy	Mounting	Post Length	Wattage	CCT & CR ¹	Beam Angle	Accessories (optional) ²	Shroud ⁴	Finish ⁵
L933	B3	PS	2	8	W30H	F		WS	BA
B3	PS	pipe stake	1' 1" (255mm) 2' 2" (559mm) 2' 3" (571mm)	8-80 W30H 2700K-90+ W30H 3000K-90+	S6 super spot 7° S6 spot 12° S6 narrow 30° S6 flood 48°		ELB: aggregate louvre	WS: Full shroud WS: wet location shroud BA: black anodized	Aluminum Finish: MA: Matte clear anodized BA: Black anodized Stainless Steel Finish: SS: stainless steel 316

System Components (Ordered Separately)

Remote Driver: _____ * Consult MP Lighting Website or Factory.

Important Notes

Specification

1. Default pipe stake length: 18" (457mm). Self-curable.
2. Refer to pg. 2 for Light Quality & Color Consistency details.
3. Louvre necessary not available with Super Spot beam angle.
4. SS finish only available with WS Shroud.
5. Refer to depends on MP Lighting website for complete list of luminaire with different finish options.
6. BA (black anodized) needs longer lead time.

Warranty Notes & Disclaimer

Malfunction and damage to product due to incompatible dimming system or misuse will not be covered under warranty. Consult MP Lighting for recommended drivers. If the fixture has an option to be installed with a dimming control system, consult a dimming system manufacturer with maximum load before installing. MP Lighting reserves the right, at its sole discretion, at any time and without notice, to make design changes to any of our products. Consult MP Lighting website for most updated documentation.



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Heavy-gauge aluminum housing.

Ceiling mount for direct installation to 4" octagonal or square junction box.

Product mount only for 3/8" National Pipe Thread stem wires supplied by others.

Textured polyester powder paint finish standard.

Multiple ceiling, pendant, cord, and wall mount options available.

OPTICS — LEDs are housed in a 3-step SDCB (SDC) minimum: 90 CR optional. LED light source concealed with diffusing optical lens.

General illumination lighting with 1.85 MW and 55° cutoff to source and source image.

Self-forged anodized reflector in specular, semi-specular, or matte diffuse finishes. Also available in white and black control reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box. 10% to 1% minimum dimming level available.

347V available option; transformer must be field-installed to an accessible remote-mounted junction box.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

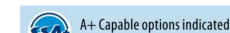
70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Damp locations standard (wet location, covered ceiling optional). DALI/D0/D3P[®] certified product.

BUY AMERICAN — This product is assembled in the USA and meets the Buy American! government procurement requirements under FAR, DFARS and DOT. Please refer to www.buyusa.gov for additional information.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other regions and implied warranties are disclaimed. Complete warranty terms located at: www.techlighting.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. Example: LDN4CYL 35/15 L04AR 18M MVOLT E21 FCM DW4WG

Series	Color temperature	Lumens	Aperture/Trim Color	Finish	Voltage
LDN4CYL 4" cylinder	2700 3000 3500 4000 5000	80-200 lumens 90-700 lumens 10-1000 lumens 15-1500 lumens 20-2000 lumens	L04 Downlight L06 Main effect L08 White L09 Black	LSS Semi-specular L0P Matte effect L0S Specular	120-120V 277-277V

Driver ¹	Mounting	Options	Architectural Colors ¹⁰
G210 0-10V driver dims to 10%	CEM Ceiling mount WM Wall mount	SP Single face MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21).	000 Dark bronze 001 Black 002 Glossy white 003 Medium bronze 004 Natural aluminum 005 Sandstone 006 Charcoal grey 007 Teal green 008 Bright red 009 Steel blue
G21 0-10V dimmable LED driver with smooth and flicker-free deep dimming performance down to 10%	PM ⁹ Pendant 3/8" threaded mount ACU ¹¹ 180° articulating cable and cord mount ALC160 180° articulating cable and cord mount	MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21).	
G21 0-10V dimmable LED driver with smooth and flicker-free deep dimming performance down to 10%		MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21). MPP160 ⁷ atLight ⁸ network power-relay pack with 0-10V dimming for non-dimmable LED drivers (G210, G21).	

Notes

1. Not available in AC mount.
2. Not available with flicker.
3. Refer to TSCA 240 for compatible dimmers.
4. Supplied with 1/8" spigot and dimming provisions.
5. White cord supplied with white housings. All other finishes supplied with black cord.
6. Must specify voltage 120V or 277V.
7. Specify voltage (V) for use with generator supply (EM power). Will require an emergency hot lead and normal hot lead.
8. Interface remote-mounted. Access panel (supplied by others) recommended.
9. Not available with AC & AC160 mounting options.
10. Additional architectural colors available: see www.techlighting.com for details.
11. Color and length of stem must be specified (stem 1" to 24") in even increments in maximum sections of 48". Ex: C1506 DW4WG, Ceiling attachment for exterior use. Consult factory for exterior use.
12. Must be field-installed to an accessible remote-mounting junction box.

DOWNLIGHTING

LDN4CYL

PITCH SINGLE OUTDOOR WALL

PRODUCT FEATURES

- From the brand formerly known as Tech Lighting
- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements appropriate for commercial use.
- Mount vertically for downlight only.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable for wet location when facing down).
- The LED Driver is housed within the junction box for this product

LAMPING



ORDERING INFORMATION

700WSRT	SHAPE OR SIZE	FINISH	LAMP	VOLTAGE
SINGLES		B BLACK Z BRONZE H CHARCOAL I SILVER	-LED027 LED 90 CR 2700K 120V -LED027-277 LED 90 CR 2700K 277V -LED030 LED 90 CR 3000K 120V -LED030-277 LED 90 CR 3000K 277V	120-277

700WSRT
JOB NAME
NOTES



© 2019 Tech Lighting, LLC. All rights reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, LLC. Tech Lighting reserves the right to change specifications for product improvements without notification.

7600 Under Avenue, Skokie, IL 60077
T 847.402.4400 | F 847.402.4500 | techlighting.com

BOWMAN 6 OUTDOOR WALL

PRODUCT FEATURES

- From the brand formerly known as Tech Lighting
- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements.
- Mid-century modern design inspiration.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable and safe for commercial use).
- The LED Driver is housed within the junction box. (L 3.05" | W 1.51" | H .98")

LAMPING



ORDERING INFORMATION

700WSBOW	LENGTH (A)	FINISH	LAMP	VOLTAGE
6"		B BLACK Z BRONZE H CHARCOAL I SILVER W WHITE	-LED027 LED 90 CR 2700K 120V -LED027-277 LED 90 CR 2700K 277V -LED030 LED 90 CR 3000K 120V -LED030-277 LED 90 CR 3000K 277V	120-277

700WSBOW
JOB NAME
NOTES



© 2019 Tech Lighting, LLC. All rights reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, LLC. Tech Lighting reserves the right to change specifications for product improvements without notification.

7600 Under Avenue, Skokie, IL 60077
T 847.402.4400 | F 847.402.4500 | techlighting.com

ASH 8 OUTDOOR WALL

PRODUCT FEATURES

- From the brand formerly known as Tech Lighting
- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements.
- Universal 120-277 volt driver with integral transient surge protection at 25KV per American National Standard (ANSI) and IEEE standards.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable and safe for commercial use).
- Available high or low output, with a choice of 2700K or 3000K color temperatures. Available in modern finishes

LAMPING



ORDERING INFORMATION

7000WASH	CR	LENGTH (A)	FINISH	VOLTAGE
H027 90 CR 2700K HIGH OUTPUT H030 90 CR 3000K HIGH OUTPUT L027 90 CR 2700K LOW OUTPUT L030 90 CR 3000K LOW OUTPUT		8"	Z BRONZE H CHARCOAL	UNV 120V-277V UNV

7000WASH
JOB NAME
NOTES



© 2019 Tech Lighting, LLC. All rights reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, LLC. Tech Lighting reserves the right to change specifications for product improvements without notification.

7600 Under Avenue, Skokie, IL 60077
T 847.402.4400 | F 847.402.4500 | techlighting.com

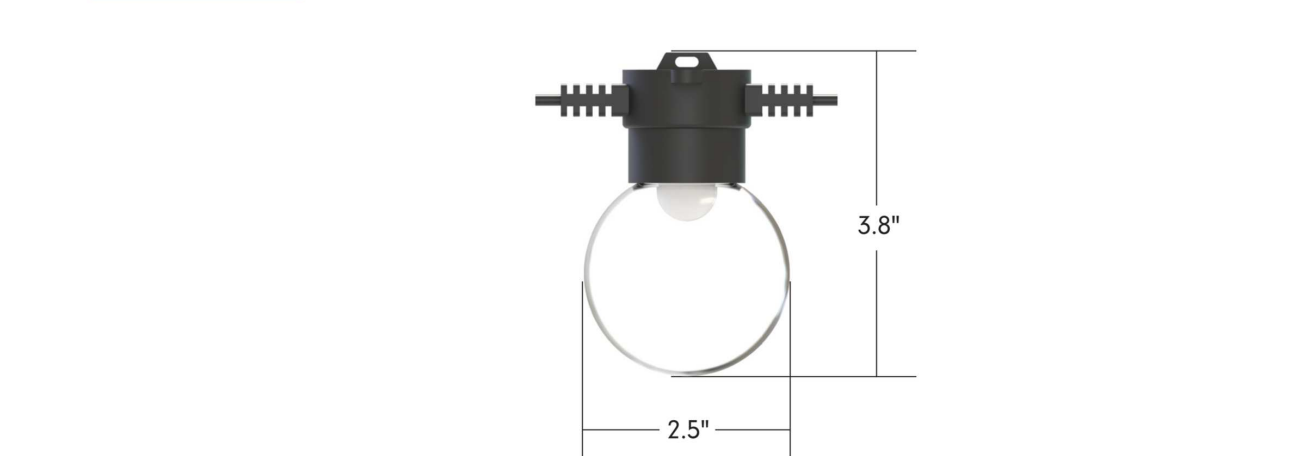
12V | Litesphere™ 2.0



Product Features

- Tivoli's next evolution of Litesphere delivers a robust specification-grade strand with factory molded standard spacing for consistent quality from start to finish.
- Litesphere 2.0 design provides optional suspended mounting or a twist-off cap for surface applications
- 12V DC Low voltage system for long runs
- IP67
- cULus
- 3 Year warranty

Dimensions



Tivoli, LLC reserves the right to modify this specification without prior notice.

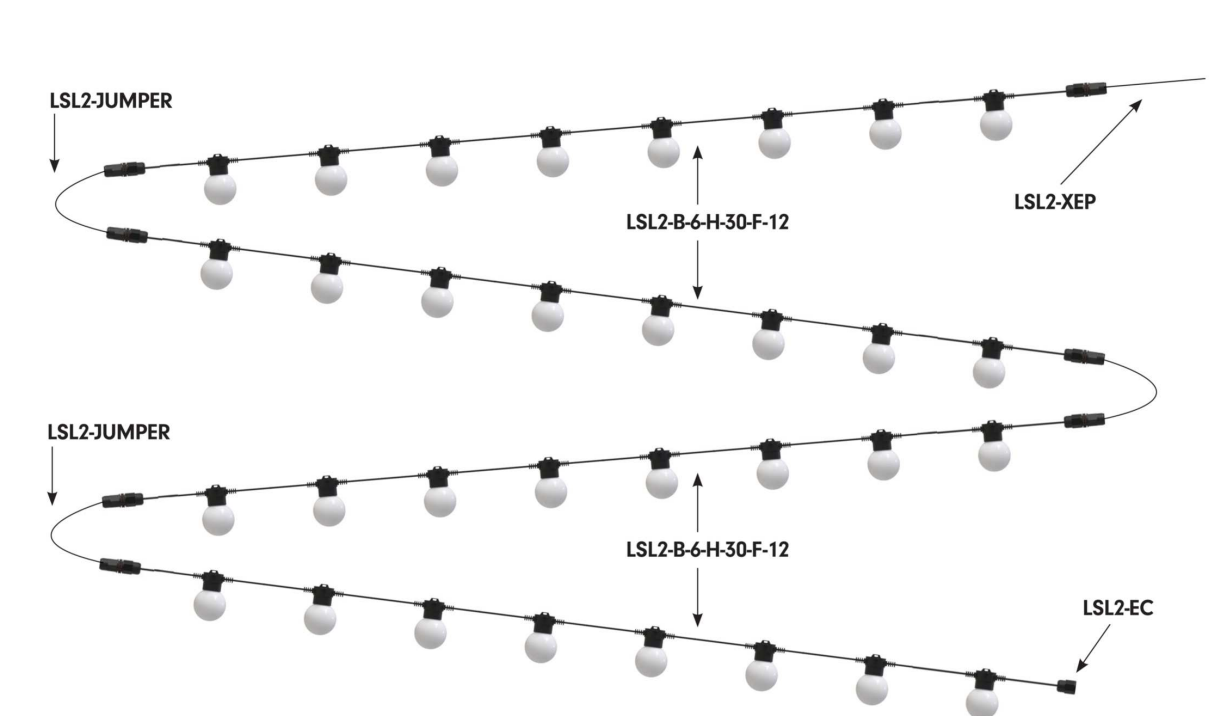
Copyright © Tivoli 11/15/23

Page 1 of 11

www.tivoliighting.com Tel: 714.957.4101 Fax: 714.427.3458

12V | Litesphere™ 2.0

System Configuration Example



Strand Order Guide

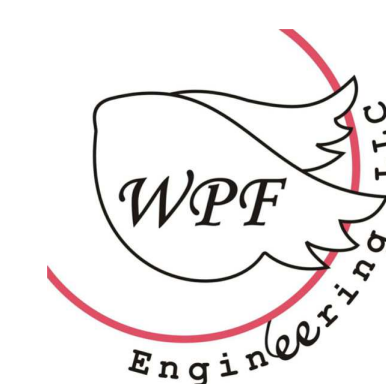
Product	Wire	Spacing	LED Type	LED Color	Globe	Voltage
LSL2 Litesphere 2.0	B Black W White	24" OC 84" 6" OC 12" 12" OC 18" 18" OC 24" 24" OC 36" 36" OC 48" 48" OC	V Very High Output H High Output S Standard Output	19 1900K 27 2700K 30 3000K 35 3500K 40 4000K 50 5000K* AM Amber* RB Royal Blue* RD Red* GN Green* YL Yellow*	C Clear F Frosted O Opal	12 12V DC

Tivoli, LLC reserves the right to modify this specification without prior notice.

Copyright © Tivoli 11/15/23

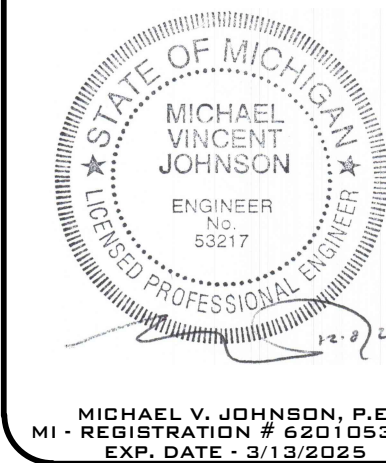
Page 3 of 11

www.tivoliighting.com Tel: 714.957.4101 Fax: 714.427.3458



WPF ENGINEERING, LLC

8200 PEACHTREE AVE
ROCKFORD, MI 48341
WWW.WPF-ENGINEERING.COM



MICHAEL V. JOHNSON, P.E.
MI - REGISTRATION # 6201053217
EXP. DATE - 3/13/2025

EXPANSION FOR
CORNMAND FARMS

8540 ISLAND LAKE ROAD
DEXTER TOWNSHIP, MICHIGAN 48130

D.B. MVJ
A.B. MVJ

DATE 12/8/23 ISSUED FOR
S.P.A. & S.L.U. DOCUMENTS

DRAWING NAME
ELECTRICAL SITE
FIXTURES

DRAWING NUMBER
ES102

SLOWTIDE.STUDIO, ARCHITECTS

Architecture | Construction Management

1145 W Long Lake Road, Suite 110
Birmingham, Michigan 48009
248 - 891 - 2737

DECEMBER 08, 2023

DEXTER TOWNSHIP, PLANNING & ZONING DEPARTMENT

ATTENTION - ASHLEY CEPEDA, SAMANTHA EDWARDS, MC MORITZ (OHM ADVISORS), RACHEL JACKSON (OHM ADVISORS), & MEGAN MASSON-MINOCK (CARLISLE WORTMAN)

6880 DEXTER-PINCKNEY ROAD
DEXTER TOWNSHIP, MICHIGAN
48130

I have prepared the Final Site Plan Application drawings (dated 12-08-2023), which respond to the review letters dated November 15, 2023, from OHM Advisors and November 21, 2023, from Carlisle Wortman, the table of requirements as outlined in table 27.1 of the 2020 Dexter Township Ordinance, and the comments received during the Preliminary Site Plan approval on November 28, 2023.

Following this cover letter, two detailed response letters prepared by Stonefield Engineering are provided, that respond directly to each item enumerated in the review letters from OHM Advisors and Carlisle Wortman.

In addition, we would like to clarify again that the septic system is not currently proposed include expansion, as mentioned in the Carlisle Wortman Review letter.

In addition to the review response letters and final drawings. The Soils Investigation report has been included, along with Stormwater Calculations from the original approvals in 2013 (included within the drawings as sheets C-14 & C-15.

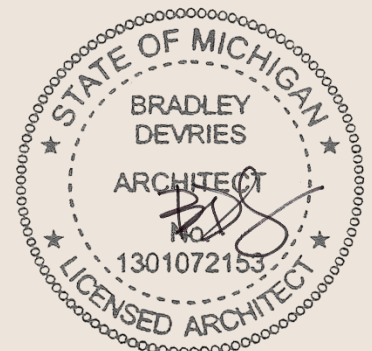
Please let me know if any information needs to be clarified or if any additional information is required.

Sincerely,



BRADLEY DEVRIES, AIA
PRINCIPAL, SLOWTIDE.STUDIO, ARCHITECTS

1145 W LONG LAKE ROAD, SUITE 110
BLOOMFIELD HILLS, MICHIGAN 48302
BDV @ SLOWTIDE.STUDIO
248-891-2737
SLOWTIDE.STUDIO



STONEFIELD

December 6, 2023

Rachel Jackson, PE & M.C. Moritz, EIT
Planning and Zoning Department
Dexter Township
6880 Dexter-Pinckney Road
Dexter, MI 48130

**RE: Preliminary Site Plan and Special Land Use Approval
Proposed Building Addition
Parcel ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 Island Lake Road
Township of Dexter, Washtenaw County, Michigan**

Ms. Jackson & Mr. Moritz:

Our office is submitting documents on behalf of the Applicant to address the outstanding comments contained within the latest Board Professional's review letters. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Development Plans	12/06/2023	1	Stonefield Engineering & Desing
Soil Investigations Report	10/31/2023	1	McDowell & Associates
Architectural Plans	12/08/2023	1	Slowtide.Studio, Architects

The following is an itemized response to the comments contained within the OHM Advisors Review Letter dated November 15, 2023. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Site Plan Review Comments

1. *Provide the location of existing water mains, service lines, and wells (if present) to verify appropriate distance between existing and proposed utilities.*

Provided, See the updated Survey within the attached Site Development Plans

2. *The topographic survey sheets shall be signed and sealed by a Professional Surveyor licensed to perform work in the State of Michigan.*

Provided, See the updated Survey within the attached Site Development Plans

3. *This office defers to the Dexter Area Fire Department (DAFD) regarding adherence to the International Fire Code and Township Standards for fire protection.*

Civil and Architectural Plans have been submitted to Dexter Area Fire Department for Review

STONEFIELDENG.COM

607 SHELBY STREET, SUITE 200, DETROIT, MI 48226 248.247.1115 T. 201.340.4472 F.

Preliminary Detailed Engineering Comments

The following comments should be addressed by the applicant during the detailed engineering drawing submittal, but do not affect the recommendation for approval to the Planning Commission.

1. *Geotechnical investigation data should be provided to our office.*

Provided within this Submission

2. *Spot elevations shall be provided at all four (4) corners of all proposed ramps/level landings and at 50' intervals along proposed walkways. The cross-slope shall not exceed 2%, per ADA Standards.*

Provided, See Sheet C-5 of the attached Site Development Plans

3. *Specify the pipe material for the proposed sanitary line.*

Proposed Insulated SDR 23.5 PVC, See Sheet C-6 of the attached Site Development Plans

4. *Clarify whether roof drains will be used to direct flow to catch basins.*

Roof will drain to grade Refer to Architectural Plans for Locations

5. *Delineate the boundaries of the drainage areas for each catch basin.*

Provided, see Sheet C-7 of the attached Site Development Plans

6. *Provide stormwater calculations for:*

- a. *the volume of the first flush (first 1" of rainfall)*

Provided, See Sheet C-7 of the attached Site Development Plans

- b. *the conveyance of the pipes (pipe capacity, flow, velocity)*

Provided, See Sheet C-7 of the attached Site Development Plans

7. *Provide the storage volume of the existing basin.*

Existing storage of 53,839 CF where 36,970 CF were required, See Additional Sheets SP-4.0 & SP-5.0 of the attached Site Development Plans for previously approved Calculations

8. *If infiltration is proposed, provide the infiltration rate and infiltration area for the basin.*

No infiltration has been proposed

9. *The minimum depth for enclosed drains is 42", measured from the grade to the spring line of the pipe. Please revise as needed.*

Provided, See Sheet C-6 of the attached Site Development Plans

10. *A minimum drop of 0.1 feet should be incorporated where inflow and outflow pipes of the same diameter meet at a structure.*

Provided, See Sheet C-6 of the attached Site Development Plans

11. *Provide the diameter/size for each stormwater structure and a standard detail.*

Proposed Nyloplast 24" Inline Drain, See Sheet C-9 of the attached Site Development Plans for detail

12. *Provide a long-term maintenance plan that designates a responsible party for each task.*

Maintenance plan will be provided by owner and reviewed by township attorney and coordinated with building permit submission

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Mitchell Harvey, PE
mharvey@stonefieldeng.com
Stonefield Engineering and Design, LLC

STONEFIELD

December 6, 2023

Megan Masson-Minock, AICP
Planning and Zoning Department
Dexter Township
6880 Dexter-Pinckney Road
Dexter, MI 48130

**RE: Preliminary Site Plan and Special Land Use Approval
Proposed Building Addition
Parcel ID: C-03-31-300-003, C-03-31-300-011, D-04-36-400-002
8540 Island Lake Road
Township of Dexter, Washtenaw County, Michigan**

Ms. Masson-Minock:

Our office is submitting documents on behalf of the Applicant to address the outstanding comments contained within the latest Board Professional's review letters. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Side Development Plans	12/06/2023	1	Stonefield Engineering & Design
Architectural Plan	12/08/2023	1	Slowtide.Studio, Architects

The following is an itemized response to the comments contained within the Carlisle Wortman Associates Review Letter dated November 21, 2023. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Project and Site Description

- I. Clarification from applicant on maximum number of guests.

The maximum number of guests will be 75.

Area, Width, Height, Setbacks

- I. Variance for building maximum lot coverage from the Zoning Board of Appeals after preliminary site plan approval.

As of this submission, a variance has not been granted. The matter was postponed at the December 05, 2023 ZBA hearing and is to be rescheduled for the January 02, 2024 hearing.

Landscaping

- I. Compliance with buffer requirements or administrative adjustment from the Planning Commission

Requirements waived during Preliminary Site Plan Approval.

STONEFIELDENG.COM

607 SHELBY STREET, SUITE 200, DETROIT, MI 48226 248.247.1115 T. 201.340.4472 F.

2. Replacement of Otto Luyken English Laurel shrubs with a plant material hardy to Dexter Township

Proposed Steeds Holly shrubs, See Sheet C-8 of the attached Site Development Plans.

3. Revised landscape plan meeting the requirements of Section 20.09, exclusive of any administrative adjustments from the Planning Commission.

Requirements waived during Preliminary Site Plan Approval.

Parking

1. *Agreement for gravel parking lot is approved by the Township Attorney.*

The continuation of the gravel parking lot was approved during the Preliminary Site Plan Approval. An agreement will be prepared and approved by the Township Attorney prior to the issuance of a Building Permit.

Loading

1. *Clarification from the applicant on loading location(s)*

Provided, See Sheet C-4 of the attached Site Development Plans.

2. *Location of loading space shown on the final site plan.*

Provided, See Sheet C-4 of the attached Site Development Plans.

Lighting

1. *A lighting plan must be submitted as part of the final site plan.*

Refer to the Electrical Site Sheets of the attached Architectural Plans.

Waste Receptacles and Enclosures

1. *The location and screening, in compliance with Section 16.23, of waste receptacles enclosures, and associated screening.*

Refer to the attached Architectural Site Plans.

Event Facility Requirements

1. *Clarification from the applicant if an owner or caretaker lives on-site.*

No owner or caretaker lives on-site.

2. *Planning Commission finding as to whether the design of proposed structures is of an agricultural or residential character complementary to the historic rural character of the surrounding district.*

The planning commission approved the architectural components of the application during Preliminary Site Plan Approval.

3. *Planning Commission approval of proposed hours of operation.*

Per the approved conditions as part of the Preliminary Site Plan Approval, hours of operation are to be from 7 am – 11 pm, with no more than 12 consecutive hours in any one day. Additionally, the facility was approved to hold up to 265 events per year.

Special Land Use Standards

1. *The Planning Commission will need to decide if all of the decision criteria have been met.*

The Special Land Use was unanimously approved at the November 28, 2023 public hearing.

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Mitchell Harvey, PE
mharvey@stonefieldeng.com
Stonefield Engineering and Design, LLC

SOILS INVESTIGATION
PROPOSED CORNMAN FARMS RENOVATIONS
8540 ISLAND LAKE DRIVE
DEXTER TOWNSHIP, MICHIGAN

STONEFIELD ENGINEERING & DESIGN
92 PARK AVENUE
RUTHERFORD, NEW JERSEY 07070

OCTOBER 31, 2023
BY
McDOWELL & ASSOCIATES

McDowell & Associates

Geotechnical, Environmental & Hydrogeological Services • Materials Testing & Inspection

21355 Hatcher Avenue • Ferndale, MI 48220

Phone: (248) 399-2066 • Fax: (248) 399-2157

www.mcdowasc.com

October 31, 2023

Stonefield Engineering & Design
92 Park Avenue
Rutherford, New Jersey 07070

Job No. 23-436

Attention: Mr. Michael Harvey

Subject: Soils Investigation
Proposed Cornman Farms Renovations
8540 Island Lake Drive
Dexter Township, Michigan

Dear Mr. Harvey:

In accordance with your request, we have made a Soils Investigation at the subject project.

Field Work and Laboratory Testing

Five Soil Test Borings, designated as 1 through 5, were performed at the subject property at the approximate locations shown on the Soil Boring Location Plan which accompanies this report. The boring locations were selected by the client and field located by our drillers. The borings were advanced to depths ranging from about ten feet (10') to twenty feet (20') below the existing ground surface at the boring locations.

Soil descriptions, groundwater observations and the results of field and laboratory tests are to be found on the accompanying Logs of Soil Test Borings and summary sheet of Sieve Analysis results.

The borings encountered six inches (6") to one foot six inches (1'6") of surficial topsoil. Fill soils consisting of fine sand or silty sandy clay were encountered in Borings 4 and 5 to respective depths of one foot six inches (1'6") and four feet (4'). The apparent native soils in each of the borings generally consisted of sand and clay-type soils with occasional areas of silt.

Soil descriptions and depths shown on the boring logs are approximate indications of change from one soil type to another and are not intended to represent an area of exact geologic change or stratification. The transition from one soil type to the next may be gradual rather than abrupt and subsurface conditions may be different from those found by the borings at locations between or beyond the actual boring locations. Also, the site shows some signs of modification which could indicate fill and soil conditions different from those encountered at the boring locations.

Groundwater was encountered in each of the borings at initial depths ranging from one foot eight inches (1'8") to fourteen feet (14') below the existing ground surface. Upon completion of drilling, Boring 3 had caved in at a depth of fourteen feet two inches (14'2") and Borings 1, 2, 4 and 5 were dry. It should be noted that short-term groundwater observations may not provide a reliable indication of the depth of the water table. In soils with significant fines content (clay and/or silt), this is due to the slow rate of infiltration of water into the borehole as well as the potential for water to become trapped in overlying layers of granular soils during periods of heavy rainfall. Water levels in granular soils fluctuate with seasonal and climatic changes as well as the amount of rainfall in the area immediately prior to the measurements. It should be expected that groundwater fluctuations could occur on a seasonal basis and that seams of water-bearing sands or silts could be found within the various clay strata at the site.

Standard Penetration Tests (SPTs) made during the sampling operation indicate that the relatively shallow site soils have variable strengths and densities while the deeper site soils have very good strengths and densities. Tests at seven feet six inches (7'6") and shallower resulted in penetration indices ranging from 5 to 32 blows per foot. At ten feet (10') and below, the tests resulted in values of 14 blows per foot or higher. All SPTs were performed with a rope and cathead safety hammer.

Project Description

It is understood that the project will consist of constructing several one to two-story, slab-on-grade buildings and/or building additions with parking areas and drives at the subject property. It is anticipated that the structures will transmit relatively light loads to the supporting soils and pavements will support mostly automobile traffic with occasional delivery and sanitation trucks.

Foundation Recommendations

Based on the project information provided and the results of field and laboratory tests, the indications are that the structures could be supported by conventional to deeper and/or wider than normal spread or strip footings. All exterior footings should be constructed at, or below, a minimum frost penetration depth of three feet six inches (3'6") below finished grade. All interior and exterior load-bearing footings should extend through non-engineered fill soils, soils containing significant amounts of organic substances, or excessively weak soils. All strip footings should be continuously reinforced in order to minimize any noticeable effects of differential settlement.

Where sand-type soils are overlying clay soils, it is suggested that footing inverts be at least one foot (1') above the top of clay. If this is not possible, it is suggested that the footings extend down to the underlying clay.

Footings constructed at the following boring locations could be proportioned for the design soil pressures shown below, provided this results in the footings bearing on native, non-organic soils:

<u>Boring</u>	<u>Depth</u>	<u>Soil Pressure (psf)</u>
1	2'0" to 6'6"	1,500
	6'6" to 8'0"	2,500
2	2'0" to 8'0"	3,000
3	2'0" to 4'6"	1,500
	4'6" to 8'0"	3,000
4	2'0" to 5'0"	3,000
5	4'0" to 5'0"	3,000

Based on the above chart, it appears that lower strength soils may be encountered in the vicinity of Borings 1 and 3 which may necessitate larger and/or deeper than normal footing sizes. Higher design soil pressures are available at various depths in each of the borings and could be detailed, if desired.

Where footings are to be constructed next to existing buildings, the new footings should be constructed at least as deep as the existing footings. Where new footings are to be constructed to greater depths than the existing footings, it may be necessary to underpin the existing footings to avoid undermining the existing structure. It should be noted that the new addition structure may settle relative to the existing structure. For this reason, it is recommended that all connections between the new and existing structures be designed to accommodate differential settlement. If practical, joints should be constructed in the floors, walls and roof where the structures join.

Engineered Fill

As an alternative to relatively deep footings where fill or low-strength material is present, the building spread or strip footings could be supported on engineered fill. All existing non-engineered fill, organic soils, soft soils and loose granular soils should be excavated and removed from the proposed foundation area. The excavations should extend beyond the edge of the structure's proposed footings six inches (6") for every foot below the footing. The removal of the unsuitable soils should be done in the presence of a qualified soils engineer or technician to limit the potential for uncontrolled fill or highly organic soils being left behind before the placement of engineered fill. After the unsuitable soils have been removed, the excavation should preferably be filled with compacted bank run sand similar to MDOT Type I or II granular soils. If clay material is utilized, it should be placed within 3% of its optimum moisture content. If the bottom of the excavation is not sufficiently stable to install the fill material, then a layer of coarse stone fill such as MDOT 6AA crushed stone could be installed. Geotextile fabric should be placed between the coarse stone engineered fill material and lower native granular soils to minimize the amount of fines infiltrating into the aggregate material. If granular material is to be placed above the stone, a six inch (6") layer of MDOT 21AA or an additional layer of filter fabric should be placed above the stone, overlapping the underlying fabric to further minimize the amount of material infiltrating into the aggregate material. The fill soils should be deposited in horizontal lifts not to exceed nine inches (9") in thickness with each lift being compacted uniformly to a minimum density of 95% of its maximum value as determined by the Modified Proctor Test (ASTM D-1557).

One inch by three inch (1" x 3") size crushed stone or crushed concrete could be used in lieu of the MDOT Type 6AA aggregate and bank run sand that we recommended above. The crushed material would need to be placed and compacted in lifts not exceeding nine inches (9") up to about one foot (1') below the planned footings and/or floor slabs. About a one foot (1') thick layer of MDOT 21AA dense aggregate could then be placed above the crushed material in an effort to choke off the stone. The crushed stone or crushed concrete material should not contain significant amounts of brick and should be relatively clean of lime or cement dust which could potentially foul up or clog the drain tiles. We suggest that the brick content should be less than 5% and cement/lime dust should be less than 3%. The large crushed material will need to be separated from the existing site granular soils by a geotextile fabric. We suggest that a geotextile filter fabric be placed along the bottom and sides of the engineered fill excavation in an effort to minimize fines from migrating into the voids within the crushed material. It should be noted that the use of crushed concrete could cause problems for potential drains and sump pumps. When water percolates through crushed concrete, the pH of the water can increase and minerals can precipitate out of the solution (mostly calcium salts and, in some cases, calcium hydroxide). Mineral deposits precipitating from the solution can shorten the life of sump pumps and plug drain tiles. High pH water can also corrode metal pipes. See AASHTO M 319-02 for discussion of these problems. Since the new structures will have a slab-on-grade, precipitating mineral deposits should not be a major concern.

Foundations placed on the engineered fill could be proportioned for a design soil pressure of 3,000 psf provided the strength is not limited by the presence of weaker underlying materials. Engineered fill should be placed and compacted up to footing and floor invert elevations.

Groundwater Considerations

Footing excavations are expected to be above groundwater elevations measured upon completion of drilling at each of the boring locations (all borings except Boring 3 were dry upon completion of drilling). It should be noted that the encountered water level can often be the actual groundwater elevation and it either seals off or dissipates into the borehole. Water seepage from potential perched water or from wet sand or silt seams is not expected to be a major issue, but if significant should be manageable with construction pumping and sumps. However, this is not known for certain. If large volumes of water or saturated granular soils are encountered, special dewatering techniques may be required. Extreme care must be exercised during any dewatering operation if nearby buildings or utilities are sensitive to settlement. Care must be taken to minimize the removal of soil fines during any pumping operations.

Floor Slabs

Concrete floors or floor-supporting backfill could be placed at, or near, the present grade at Borings 1 through 3. Any existing topsoil or other obviously objectionable materials should be removed and the subgrade should then be thoroughly proof-compacted. If, during the proof-compaction operation, areas are found where the soils yield excessively, the yielding materials should be scarified, dried, and recompact or removed and replaced with engineered fill meeting the specifications outlined above.

Fill soils were encountered in Borings 4 and 5 to respective depths of one foot six inches (1'6") and four feet (4'). If the possibility of more than normal differential settlement can be tolerated, slab-on-grade floors or floor-supporting backfill could be placed at, or near, the present grade in the vicinity of these borings. Any topsoil or other obviously objectionable material should be removed and the subgrade thoroughly proof-compacted. If, during the proof-compaction operation, areas are found where the soils yield excessively, the yielding materials should be scarified, dried, and recompacted or removed and replaced with engineered fill as outlined above.

If the possibility of more than normal differential movement cannot be tolerated, then all existing fill soils should be removed and replaced with engineered fill meeting the requirements outlined above, or the floor slab should be structurally supported.

If any existing structures are found, they should be entirely removed from the proposed building area. Buried utilities should be removed or grouted in place. Resulting excavations should be backfilled with engineered fill meeting the requirements outlined above.

To minimize capillary action under floor slabs, we suggest placing at least four inches (4") of clean material on the subgrade followed by a suitable plastic vapor barrier between the clean material and the concrete slab. The clean material could consist of pea stone, MDOT Class I sand, 2NS sand or 6AA crushed stone.

Pavement Design

It appears that the subgrade soils consist primarily of sand or clay soils. We would expect the clay soils to have low California Bearing Ratios (CBRs) on the order of 3% and a modulus of subgrade reaction of about 100 pci. It appears these soils have a high percentage of silt-sized particles which would indicate they would tend to have a severe frost heave potential.

Based on the above estimated CBR value, we have made the following pavement analysis. The site soils appear to be very susceptible to frost heave. Consequently, it is suggested that in areas of automobile and light truck traffic, three inches (3") of asphalt with eight inches (8") of high quality, well-graded granular base course be used. In drive areas subject to truck traffic, it is recommended that the asphalt thickness be increased by one and one-half inches (1.5"). In the areas to be paved, the site should be prepared in a manner similar to that recommended above. The subgrade should be reworked until approximately the upper one foot (1') of the subgrade is compacted to at least 95% of its maximum dry density as determined by the Modified Proctor Test. It is recommended, as a minimum, that stub drains be provided at the storm sewer catch basins to provide some drainage for the pavement base. The subgrade should be properly sloped to allow drainage of surface water. Eight inches (8") of concrete pavement should be used in the dumpster area and other intensive truck wheel load areas. Edge drains should be installed in watered landscaped areas.

Stormwater Management System

It is understood that stormwater management systems with a desired infiltration to the ground component have been proposed at the locations of Borings 4 and 5. It is further understood that you plan to perform test pits and field infiltration testing meeting the county standards at a later date.

Boring 4 encountered silty sand from one foot six inches (1'6") to four feet (4') followed by a clay layer to five feet three inches (5'3") followed by sand with varying gravel content. Boring 5 encountered clay to five feet four inches (5'4") followed by silty sand to six feet six inches (6'6") followed by sand. It is anticipated that the relatively clean sand encountered below five feet three inches (5'3") in Boring 4 and six feet six inches (6'6") in Boring 5 would be suitable for a design infiltration rate of several inches per hour. Field infiltration testing should be performed for confirmation.

It is recommended that the proposed infiltration surface be visually inspected upon excavation to verify that appropriate soils are present. This would be done to ensure that significant variations in either soil texture or soil type do not exist at locations other than those actually tested by the soil borings.

Closing

Experience indicates that actual subsurface conditions at the site could vary from those found at the five test borings made at specific locations. It is, therefore, essential that McDowell & Associates be notified of any variation of soil conditions to determine their effects on the recommendations presented in this report. The evaluations and recommendations presented in this report have been formulated on the basis of reported or assumed data relating to the proposed project. Any significant change in the final design plans should be brought to our attention for review and evaluation with respect to the prevailing subsoil conditions.

It is recommended that the services of McDowell & Associates be engaged to observe the soils in the footing excavations prior to concreting in order to test the soils for the required bearing capacities. Testing should also be performed to check that suitable materials are being used for controlled fills and that they are properly placed and compacted.

If we can be of any further service, please feel free to call.

Very truly yours,

McDOWELL & ASSOCIATES



David Quintal, P.E.
Senior Engineer

DQ/

Attachments: Boring Logs (5 pp)
 Sieve Analysis (1 p)
 Soil Boring Location Plan (1 p)



McDOWELL & ASSOCIATES
Geotechnical, Environmental, & Hydrogeologic Services
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157

JOB NO. 23-436

LOG OF SOIL

BORING NO. 1

PROJECT

Preliminary Soils Investigation –
Proposed Cornman Farms Development
Northeast of Island Lake Road and
Island Hills Drive

LOCATION

Dexter Township, Michigan

SURFACE ELEV. _____ **DATE** 10-25-23

Sample & Type	Depth	Legend	SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
	1		Moist dark brown sandy TOPSOIL with vegetation and trace of clay						
A	2		1'6" Compact moist brown clayey SAND	5					
UL	2'0"			5	10.6	---			
	3		Stiff moist brown silty sandy CLAY	4			*	(7000)	
	4		4'0"						
B	5		Soft moist brown silty sandy CLAY with wet brown silt streaks	2	15.7	125			
UL	6			2			*	(2500)	
	6			3					
	7		6'6" Stiff moist brown silty sandy CLAY with seams of silt and sand	3					
C	8			4	19.1	---			
UL	9			4			*	(4600)	
	9		9'0"						
D	10			5					
UL	11		Compact moist brown gravelly silty SAND	8	5.4	121			
	12			8					
	13								
	14		14'0"						
E	15			10					
UL	16		Compact wet brown SILT with traces of gravel and clay	7					
	17			7					
	18								
	19								
F	20		19'6" Extremely compact moist brown fine SAND	15					
UL	21		20'4"	20					
	22			20/ 4"					
	23								
	24								
	25								

TYPE OF SAMPLE
D. - DISTURBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

REMARKS: *Calibrated penetrometer

Standard Penetration Test - Driving 2" OD Sampler 1' With
140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 4 FT. 0 INS.
G.W. ENCOUNTERED AT 6 FT. 6 INS.
G.W. AFTER COMPLETION 6 FT. 6 INS.
G.W. AFTER HRS. None FT. INS.
G.W. VOLUMES Light



McDOWELL & ASSOCIATES
Geotechnical, Environmental, & Hydrogeologic Services
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157

JOB NO. 23-436

LOG OF SOIL

BORING NO. 2

PROJECT

Preliminary Soils Investigation –
Proposed Cornman Farms Development
Northeast of Island Lake Road and
Island Hills Drive

LOCATION

Dexter Township, Michigan

SURFACE ELEV. DATE 10-25-23

Sample & Type	Depth	Legend	SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
	1		Moist dark brown sandy TOPSOIL with vegetation						
A	2		Moist brown and dark brown fine SAND	3					
UL	3		Very stiff moist brown silty sandy CLAY with trace of vegetation and occasional stones	8	13.6	124			
	4			11			*	(7500)	
B	5		Very compact moist brown silty SAND & GRAVEL	11					
UL	6			10	2.7	---			
	7			11					
C	8			12					
UL	9			11	4.5	---			
	10			10					
D	11		Very compact moist brown silty fine SAND with trace of gravel	12					
UL	12			10					
	13			10					
	14								
E	15		Extremely compact wet brown sandy SILT with traces of gravel and clay	7					
UL	16			10	9.7	---			
	17			17					
	18								
	19								
	20								
	21								
	22								
	23								
	24								
	25								

TYPE OF SAMPLE
D. - DISTURBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

REMARKS: *Calibrated penetrometer

Standard Penetration Test - Driving 2" OD Sampler 1' With
140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 14 FT. 0 INS.
G.W. ENCOUNTERED AT FT. INS.
G.W. AFTER COMPLETION None FT. INS.
G.W. AFTER HRS. FT. INS.
G.W. VOLUMES Light



McDOWELL & ASSOCIATES
Geotechnical, Environmental, & Hydrogeologic Services
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157

LOG OF SOIL

BORING NO. 3

PROJECT

Preliminary Soils Investigation –
Proposed Cornman Farms Development
Northeast of Island Lake Road and
Island Hills Drive

LOCATION

Dexter Township, Michigan

JOB NO. 23-436

SURFACE ELEV. _____ DATE 10-25-23

Sample & Type	Depth	Legend	SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
	1		Moist dark brown sandy TOPSOIL with vegetation						
A	2		2'0"	2					
UL				2	9.5	118			
	3		Medium compact moist brown silty fine to medium SAND with traces of clay and gravel	3					
	4								
B	5		4'6"	2					
UL				4	10.4	124			
	6		Stiff moist brown silty sandy CLAY with trace of gravel	5			*	(7000)	
	7		6'6"						
C	8			8					
UL			Very compact moist brown silty fine SAND with traces of clay and gravel	9	8.2	133			
	9			11					
	10		9'0"						
D	11			7					
UL			Stiff moist brown silty sandy CLAY with wet seams to layers of silt	7	9.2	137			
	12			8			*	(8000)	
	13								
	14		14'0"						
E	15			8					
UL			Very compact wet brown fine SAND with trace of silt	10					
	16		15'6"	11					
	17								
	18								
	19								
	20								
	21								
	22								
	23								
	24								
	25								

TYPE OF SAMPLE
D. - DISTURBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

REMARKS: *Calibrated penetrometer

Standard Penetration Test - Driving 2" OD Sampler 1' With
140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 9 FT. 0 INS.
G.W. ENCOUNTERED AT 14 FT. 0 INS.
G.W. AFTER COMPLETION 14 FT. 2 INS.
G.W. AFTER HRS. FT. INS.
G.W. VOLUMES Light Cave-in at 14'2"



McDOWELL & ASSOCIATES
Geotechnical, Environmental, & Hydrogeologic Services
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157

LOG OF SOIL

BORING NO. 4

PROJECT

Preliminary Soils Investigation –
Proposed Cornman Farms Development
Northeast of Island Lake Road and
Island Hills Drive

LOCATION

Dexter Township, Michigan

JOB NO. 23-436

SURFACE ELEV. _____ DATE 10-25-23

Sample & Type	Depth	Legend	SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
	1		0'6" Moist dark brown sandy TOPSOIL with vegetation						
A	2		1'6" Moist brown and dark brown fine SAND with topsoil and trace of clay, fill	3					
UL	3		Compact moist brown silty fine SAND	6	14.6	127			
	4		4'0"	7					
B	5		Stiff moist brown silty sandy CLAY with wet silt seams	4					
UL	6		5'3" Compact moist brown fine SAND with trace of silt	6	4.1	106			
	7		7'0"	8					
C	8		Extremely compact moist brown gravelly SAND with trace of silt	10					
UL	9		10'6"	14	3.1	125			
	10			14					
D	11			11					
UL	12			14					
	13			20					
	14								
	15								
	16								
	17								
	18								
	19								
	20								
	21								
	22								
	23								
	24								
	25								

TYPE OF SAMPLE
D. - DISTURBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

REMARKS:

Standard Penetration Test - Driving 2" OD Sampler 1' With
140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 4 FT. 0 INS.
G.W. ENCOUNTERED AT FT. INS.
G.W. AFTER COMPLETION None FT. INS.
G.W. AFTER HRS. FT. INS.
G.W. VOLUMES Light



McDOWELL & ASSOCIATES
Geotechnical, Environmental, & Hydrogeologic Services
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157

LOG OF SOIL

BORING NO. 5

PROJECT

Preliminary Soils Investigation –
Proposed Cornman Farms Development
Northeast of Island Lake Road and
Island Hills Drive

LOCATION

Dexter Township, Michigan

JOB NO. 23-436

SURFACE ELEV. DATE 10-25-23

Sample & Type	Depth	Legend	SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
	1		Moist dark brown sandy TOPSOIL with vegetation						
A	2		1'6"	2					
UL	3		Firm moist brown to dark brown silty sandy CLAY with wet silt streaks and clay, fill	2	17.3	119			
	4		4'0"	3			*	(2300)	
B	5		Stiff moist brown silty sandy CLAY with wet brown silt streaks	5					
UL	6		5'4"	5	9.6	139			
	7		6'6"	8			*	(3000)	
C	8		Compact moist brown silty fine SAND with trace of gravel						
UL	9		6'6"	12					
	10		Extremely compact moist brown fine to medium SAND with traces of gravel and silt and seams of sand and gravel	15	2.2	120			
D	11		10'3"	17					
UL	12			19					
	13			19					
	14			10/ 3"					
	15								
	16								
	17								
	18								
	19								
	20								
	21								
	22								
	23								
	24								
	25								

TYPE OF SAMPLE
D. - DISTURBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

REMARKS:

*Calibrated penetrometer

Standard Penetration Test - Driving 2" OD Sampler 1' With
140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 1 FT. 8 INS.
G.W. ENCOUNTERED AT 4 FT. 0 INS.
G.W. AFTER COMPLETION None FT. INS.
G.W. AFTER HRS. FT. INS.
G.W. VOLUMES Light

SIEVE ANALYSIS

<u>Boring</u>	<u>Sample</u>	<u>% Passing #4 Sieve</u>	<u>% Passing #10 Sieve</u>	<u>% Passing #40 Sieve</u>	<u>% Passing #100 Sieve</u>	<u>% Passing #200 Sieve</u>
1	D	74.8	66.6	51.4	23.3	14.5
2	B	57.0	44.8	24.2	14.8	12.4
3	A	92.7	87.5	72.4	36.5	25.0
4	C	79.7	56.3	29.1	13.6	8.9
5	C	55.9	44.8	23.0	13.0	10.1

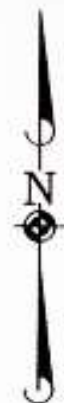


Note: Base drawing prepared by others.

LEGEND



Soil Boring Locations, 1 through 5:
Drilled by McDowell & Associates



McDowell & Associates
21355 Hatcher Avenue
Ferndale, Michigan 48220
Phone: (248) 399-2066
Fax: (248) 399-2157

Soil Boring Location Plan

Job No. 23-436



DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

MEMORANDUM

To: Dexter Township Board

From: Megan Masson-Minock, Township Planning Consultant

Subject: FSP24-PC-001: Final site plan for Cornman, LLC, Special Event Facility
8540 Island Lake Road
Plan Reviews and Motions

Date: January 16, 2024

The following reviews are attached for the Cornman Farm Final Site Plan Review:

Engineering Review from OHM dated December 14, 2023

OHM recommended final approval of the final site plan.

Planning Review from Carlisle|Wortman Associates (CWA) dated December 14, 2023

CWA recommended final approval of the final site plan with the following conditions:

1. The Zoning Ordinance is amended to allow at least two percent (2%) building coverage on a lot greater than five (5) acres zoned Rural Residential.
2. A maximum of seventy-five people per event.
3. Hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day.
4. A temporary zoning permit, as outlined in §16.33 Temporary Structures and Uses, shall be required for each special event requiring a temporary structure or where the expected number of guests exceeds the maximum number of guests of 75 as described on an approved site plan.
5. Approval by Dexter Area Fire Department.
6. Approval of the gravel parking lot maintenance agreement by the Township Attorney.
7. A signed gravel parking lot maintenance agreement is filed with the County Registrar of Deeds before issuance of any building permits.

Dexter Area Fire Department (DAFD) Review

A review from DAFD has not been received.

The standards for final site plan approval (Table 27.2 in Section 27.10) are:

- **Health, Safety, and Welfare:** The site and use shall not be injurious to the general health, safety, and welfare of the surrounding area and the Township.
- **Information:** All of the required information has been supplied or waivers have been granted.
- **Ordinance Standards:** The site shall meet the provisions of this Ordinance for the proposed use.
- **Master Plan:** The use shall be generally consistent with the Master Plan.
- **Internal Circulation:** The site shall be organized to provide safe and convenient vehicular and pedestrian movement within the site, including a pedestrian circulation system that is insulated as much as reasonable from the vehicular circulation system.
- **Landscape Preservation:** The landscape shall retain, as much as possible, a natural state, by reasonably minimizing tree, vegetation, and soil removal and topographical modifications.
- **Storm Water:** The storm water management system shall preserve natural drainage patterns, shall not increase flooding or sedimentation to other properties, and shall meet the standards of the Washtenaw County Water Resources Commissioner.
- **Water Supply:** An adequate water supply shall be approved.
- **Sewage System:** An adequate sewage system shall be approved.
- **Public Service Capacity:** The site shall not place an unreasonable burden on the provision of public services, such as, but not limited to, fire protection, police protection, schools, and utilities.

Based on those standards, staff has prepared the following motions for the Planning Commission's consideration. The Planning Commission may amend these motions as they see fit.

Motion #1

Based on the information provided by the applicant, staff, CWA, OHM, and DAFD, the Planning Commission determines that FSP24-PC-001: Final site plan for Cornman, LLC, Special Event Facility meets the standards for final site plan approval and the amendment to the Special Land Use Resolution (13-PC-147). The Planning Commission approves the final site plan with the following conditions:

1. The Zoning Ordinance is amended to allow at least two percent (2%) building coverage on a lot greater than five (5) acres zoned Rural Residential.
2. A maximum of seventy-five people per event.
3. Hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day.
4. A temporary zoning permit, as outlined in §16.33 Temporary Structures and Uses, shall be required for each special event requiring a temporary structure or where the expected number

of guests exceeds the maximum number of guests of 75 as described on an approved site plan.

5. Approval of the gravel parking lot maintenance agreement by the Township Attorney.
6. A signed gravel parking lot maintenance agreement is filed with the County Registrar of Deeds before issuance of any building permits.
7. Approval by Dexter Area Fire Department.
8. OHM Review dated December 14, 2023.
9. CWA Review dated

Motion #2

Based on the information provided by the applicant, staff, CWA, OHM, and DAFD, the Planning Commission determines that FSP24-PC-001: Final site plan for Cornman, LLC, Special Event Facility does not meet the standards for final site plan approval and the amendment to the Special Land Use Resolution (13-PC-147). The Planning Commission denies the final site plan based on the following findings:

1. The proposed building coverage exceeds Zoning Ordinance standards in Table 16.2 in Section 16.12 for lots greater than five (5) acres zoned Rural Residential.

Motion #3

Based on the information provided by the applicant, staff, CWA, OHM, and DAFD, the Planning Commission postpones FSP24-PC-001: Final site plan for Cornman, LLC, Special Event Facility to allow for the Township Planning Commission and Township Board to consider Zoning Ordinance text amendments to Table 16.2 in Section 16.12.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 15, 2024

Final Site Plan Review Dexter Township, Michigan

GENERAL INFORMATION

Applicant:	Corn Man LLC
Project Name:	Cornman Farms Building Additions
Plan Date:	December 8, 2023
Location:	8540 Island Lake Road (D-04-36-400-002)
Zoning:	RR, Rural Residential
Action Requested:	Final Site Plan Review
Required Information:	No Further Information Needed.

PROJECT AND SITE DESCRIPTION

This is our first review of the final site plan for additional buildings to the Cornman Farms special event facility. The event facility is located on three (3) parcels: D-04-36-400-002 located in Dexter Township, and C-03-31-300-003 and C-31-300-011 located in Webster Township. No improvements are proposed on the Webster Township parcels. For the purposes of this review, the subject site refers to the parcel in Dexter Township, D-04-36-400-002.

The plans propose the following structures and buildings:

- A 1,105 square foot enclosed walkway from the existing farmhouse to the existing red barn, enclosing the existing smoker.
- A covered walkway addition of 942 square feet over the existing sidewalk between the red barn and the gravel turn around area.
- An addition to the existing red barn of 369 square feet.

*Benjamin R. Carlisle, President Douglas J. Lewan, Executive Vice President John L. Enos, Vice President
David Scurto, Principal Sally M. Elmiger, Principal R. Donald Wortman, Principal
Paul Montagno, Principal, Megan Masson-Minock, Principal, Laura Kreps, Senior Associate
Richard K. Carlisle, Past President/Senior Principal*

- A 1,180 square foot pavilion. The applicant has stated in a letter that the pavilion will take the place of the large tent used for events.
- A patio connecting the red barn and the pavilion.
- A garden amphitheater.
- An expansion of the existing septic field.
- Conversion of a portion of the existing storage barn to a private groom's suite.

The number of events is expected to remain the same as in the past (100-150 events). In their letter dated November 7, 2023, the applicant has stated that the following operational changes will be made in 2024, associated with the proposed improvements:

- Reduction of the maximum capacity from over 200 people to 75 people.
- Reduction in hours for events from 10:00 a.m. to midnight to 11:00 a.m. to 11:00 p.m.

We note that six (6) chairs were removed and the floor plans on Sheets A-1.00 and A-1.01 show seating in the pavilion and red barn for seventy-four (74) guests.

The Zoning Ordinance allows special event facilities as a special land use in the Rural Residential zoning district. Since buildings were proposed, the application is an amendment to the existing Special Land Use and is subject to the provisions of Section 28.08 of the Township Zoning Ordinance, which requires a public hearing.

Following the public hearing held on November 28, 2023, the Planning Commission approved the Preliminary Site Plan as presented based on the following findings:

1. The Decision Criteria in §27.10 has been met.
2. The design of the structure is of an agricultural residential character and is complimentary to the historic rural character of the surrounding district.
3. Administrative adjustment is granted to allow the buffer requirement as shown on the preliminary site plan.
4. Administrative adjustment is granted to allow the gravel parking lot as shown in the final site plan.
5. The Planning Commission waived the requirement for size, conditions, common scientific names of trees to be removed or preserved.

At that meeting, the Planning Commission also granted preliminary site plan approval subject to the following conditions:

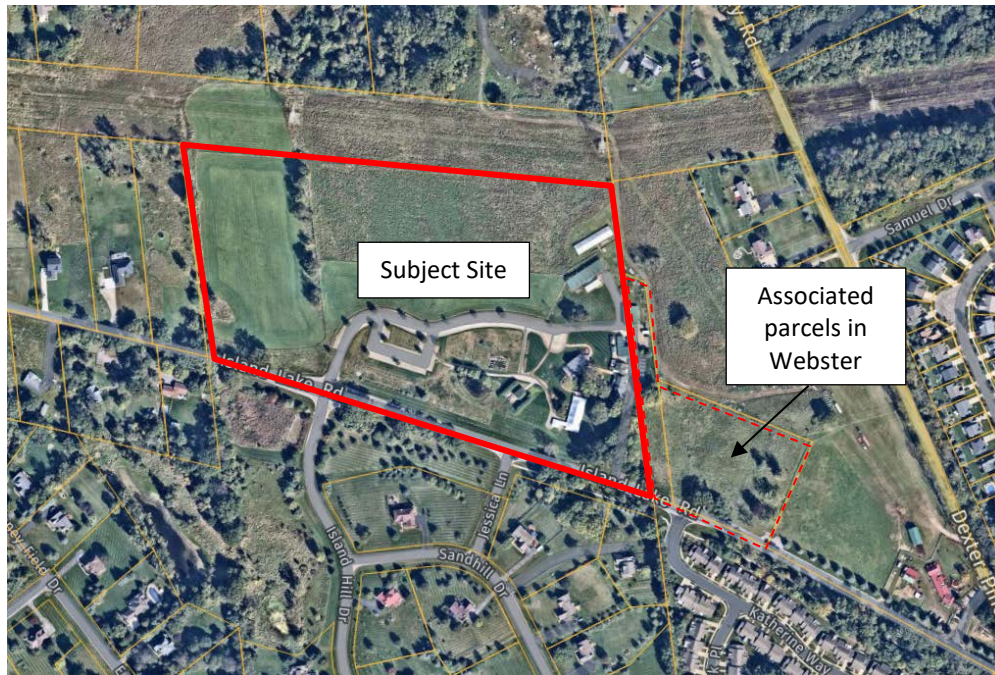
1. A maximum of seventy-five people per event.
2. Hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day.
3. A temporary zoning permit, as outlined in §16.33 Temporary Structures and Uses, shall be required for each special event requiring a temporary structure or where the expected number of guests exceeds the maximum number of guests of 75 as described on an approved site plan.

4. The approval of a variance for the building coverage of the proposed additional buildings greater than 11,543 square feet.

Additionally, the Planning Commission approved an amendment to the Special Land Use Resolution (13-PC-147) subject to the following conditions:

1. Hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day.
2. The number of events is limited to 265 in a calendar year.

Existing Site Conditions



Source: NearMap, October 2, 2023

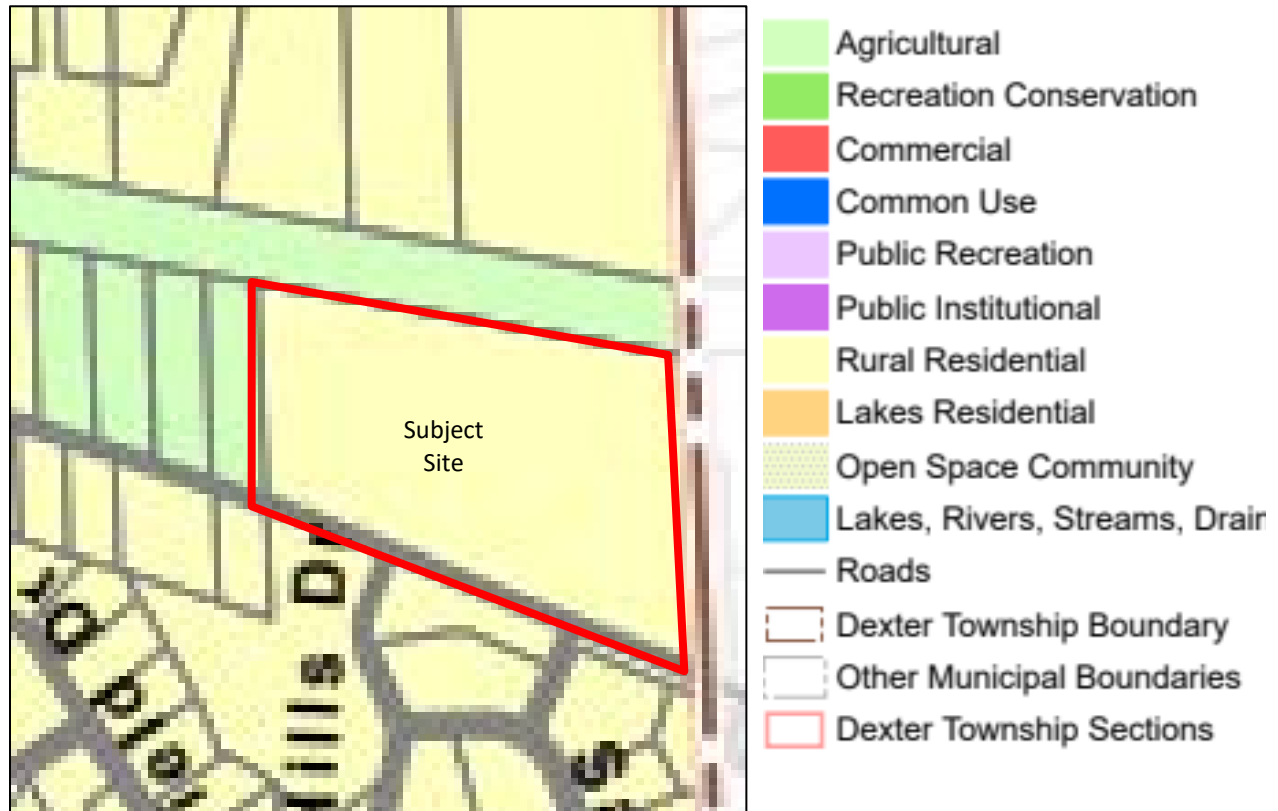
NEIGHBORING ZONING AND LAND USE

The zoning, future land use in the Township Master Plan, and existing land uses for the subject site and surrounding parcels is on the table below:

Direction	Zoning	Future Land Use	Existing Use
Subject Site: 8540 Island Lake Road (D-04-36-400-002)	Rural Residential	Rural Residential Special Planning Area 2	Event Facility
North	Agricultural Rural Residential	Rural Residential	Utilities Residential
South	Rural Residential	Rural Residential	Residential
East (Webster Twp)	Rural Residential Commercial	Urban Residential Commercial Node	Event Facility Farm stand and store

Direction	Zoning	Future Land Use	Existing Use
West	Agricultural	Rural Residential Special Planning Area 2	Vacant

Zoning



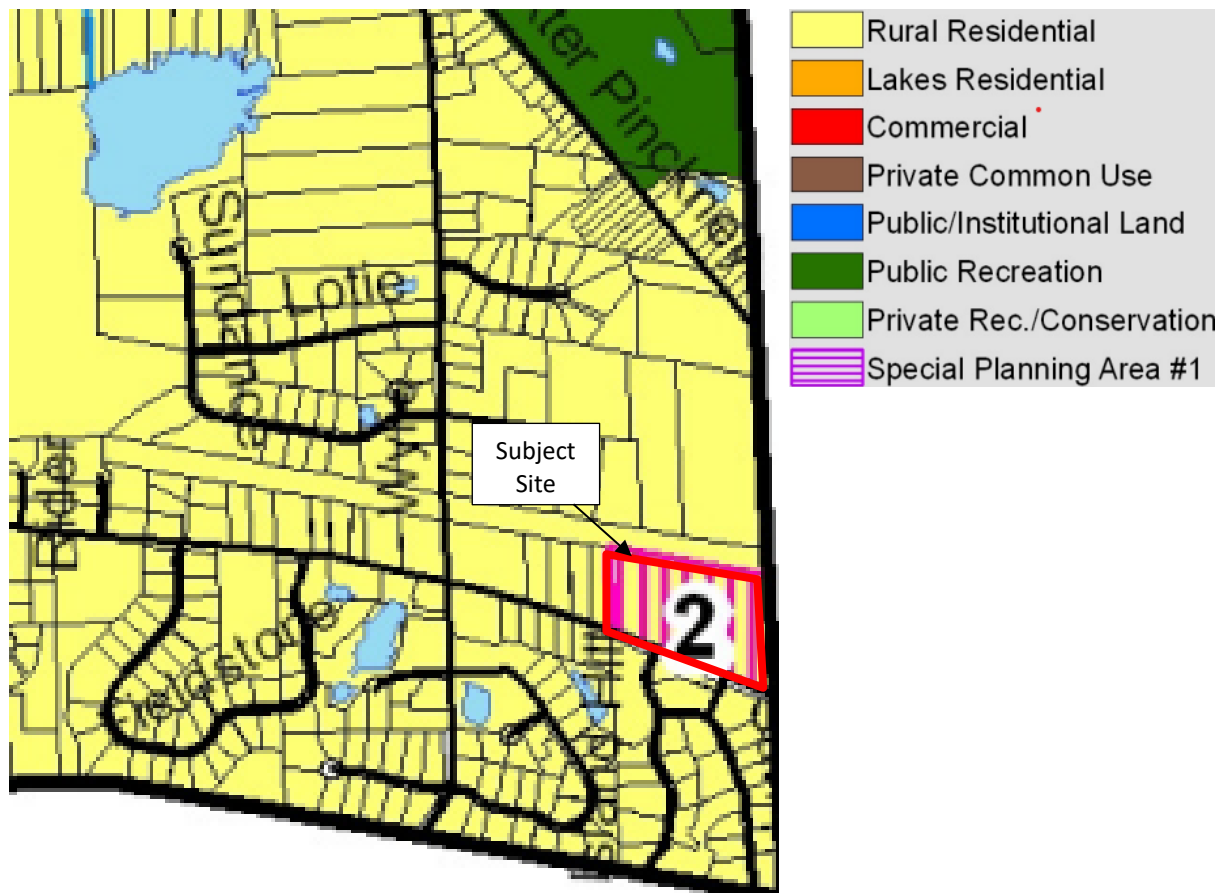
The intent of the Rural Residential Zoning District is:

“The Rural Residential District is to provide opportunities for relatively low-density residential uses in a manner that maintains, enhances, and preserves open spaces, including farmlands, woodlands, and wetlands that contribute to the rural character of the Township. Opportunities to continue the limited agricultural operations should be encouraged. Woodlands, wetlands, and water courses should be preserved. It is also the intent of the district to provide opportunities for passive and active recreational uses that are compatible with the natural character of the land and surrounding uses.”

MASTER PLAN

The subject site is planned as Rural Residential and Special Planning Area #2.

Future Land Use Map from 2011 Dexter Township Master Plan



The Rural Residential future land use designation is "intended to provide opportunities for the continuation of farming activities while also providing opportunities for rural residential lifestyles of comparatively low development densities." A special event use is not mentioned in the description of the Rural Residential future land designation, but the event space is associated with a working farm.

The Special Planning Area #2 allowed for higher residential densities than described in the Rural Residential designation, if those densities were necessary to meet a demand for affordable, smaller sized homes, or housing for senior or those with special needs. The description notes that, due to the proximity of Webster Township and the City of Dexter, coordination with those neighboring municipalities regarding growth management and infrastructure is important.

The following goals and objectives from the 2011 Dexter Township Master Plan are relevant to this proposal:

Overall Goal: *“Promote an efficient pattern of development where Dexter Township continues to develop into a high-quality residential area that sustains our sense of place and rural character, protects existing agricultural enterprises, preserves our natural environment and resources, protects property rights, and is consistent with the Township’s ability to provide the necessary infrastructure and services.”*

Agricultural Goal: *“Encourage and support the creation and continuation of local farming operations and the long-term protection and viability of farmland resources by the provision of an environment conducive to agricultural operations.”*

Commercial Goal: *“Allow commercial land uses of a size, scale and character that are intended to serve the day-to-day needs of the local population, compatible with available public infrastructure and services, and of a design that preserves the natural resources and rural character of the Township.”*

While an event facility is not specifically mentioned in the Rural Residential or Special Planning Area #2 descriptions, the Planning Commission previously determined that the use was generally consistent with the Master Plan when the original Special Land Use was approved. The applicant is intending to decrease the intensity of the use, although adding additional buildings and impervious surface to the site.

AREA, WIDTH, HEIGHT, SETBACKS

The following table summarizes the required and proposed area, width, height, and setbacks for the proposal:

Dimension	Required	Proposed	Complies
Min. Lot Area	2 acres	2.32 acres	Complies
Min. Lot Width	150 feet	1,371.07 feet	Complies
Min. Setbacks			
Front	80 feet	213 feet, 6 inches	Complies
Side (west)	15 feet	996 feet, 4 inches	Complies
Side (east)	15 feet	0 feet	Existing nonconformity
Side (combined)	30 feet	996 feet, 4 inches	Complies
Rear	30 feet	127 feet, 6 inches	Complies
Between buildings	10 feet	<10 feet	Complies
Max. Building Height			
Enclosed Walkway	30 feet	9 feet, 6 1/8 inches	Complies
Pavilion		16 feet, 11 1/4 inches	Complies
Red Barn Addition		9 feet, 9 1/2 inches	Complies
Max. Lot Coverage			
Buildings	11,543 square feet	21,092 square feet	Variance Denied
Impervious Surfaces	20%	10.62%	Complies

The east side setback is an existing nonconformity and will not be increased due to the proposal. The event center encompasses the adjacent property in Webster Township to the east.

The red barn may be taller than thirty (30) feet, but the proposed addition is less than the maximum height and does not increase the possible existing nonconformity.

The applicant has applied for a variance from the maximum lot coverage. Per Section 27.04(C), site plans requiring a variance must have preliminary approval before the Zoning Board of Appeals holds a public hearing for the variance. The variance was denied by the Zoning Board of Appeals at their January 9, 2023, meeting. In order for the event facility to expand as proposed, the Zoning Ordinance would need to be amended to allow at least two percent (2%) building coverage on a lot greater than five (5) acres zoned Rural Residential. A public hearing on a Zoning Ordinance text amendment to that extent is scheduled for the Planning Commission's meeting on January 23, 2024.

Items to be addressed: *Compliance with lot coverage requirements.*

BUILDING DESIGN

Floor plans and elevations for the proposed buildings have been provided. The enclosed walkway exterior materials will be a combination of wood clapboard siding, reclaimed wood siding, and glass with aluminum frames with wood fascia, stone veneer piers, and an asphalt shingle roof. The red barn addition will have reclaimed wood siding, wood fascia, and an asphalt shingle roof.

The pavilion will have a metal roof. The facades facing northwest and southeast will be glass with aluminum frames. The southwest and northeast facades are proposed to be metal siding, with two egress doors and a double main entry door, respectively.

Items to be addressed: *None.*

NATURAL FEATURES

The site has the following natural features:

Topography: The site gently slopes with the highest point at the rear of the property.

Woodlands: No woodlands exist on the site.

Wetlands: No wetlands are on site.

Floodplains: The site does not include FEMA flood plain.

A site plan decision criterion for preliminary site plan review listed in Table 27.2 is that landscape shall retain, as much as possible, a natural state, by reasonably minimizing tree, vegetation, and soil removal and topographical modifications.

Items to be addressed: *None.*

TRAFFIC IMPACT

The maximum number of people at the event facility is proposed to be reduced and the parking areas will remain the same. The proposal will likely decrease the traffic impacts of the event facility, which can be adequately accommodated by the street network.

Items to be addressed: None.

LANDSCAPING

The table below summarizes the required and proposed landscaping per Article 20 of the Zoning Ordinance for the portion of the site proposed for development.

	Required	Proposed	Compliance
Disturbed Area			
At least 1 deciduous shade tree per every 10,000 square feet of disturbed area	$42,000 \text{ s.f.} / 10,000 \text{ s.f.} = 4.2 = 4 \text{ trees}$	4 trees	Complies
Minimum Landscaping			
10% of the area landscaped	$92,527 \text{ s.f.} \times 0.10 = 9,253 \text{ s.f.}$	906,361 s.f.	Complies

	Required	Proposed	Compliance
Screening and Buffering – Non-Residential			
Front 1 tree for every 30 linear feet or fraction thereof	$1,371.07 \text{ feet} / 30 = 45.7 = 46 \text{ trees}$	5 proposed 6 preserved 11 trees total	Administrative adjustment given
Side and Rear Solid, 5-foot high buffer with 75% opacity in 3 years	Solid, 5-foot high buffer with 75% opacity in 3 years	None	Administrative adjustments given
Parking Lot Landscaping			
Street Screening	Screening to block headlights of motor vehicles in the off-street parking	Existing landscaping	Complies
Trees 1 tree for every 8 parking spaces or fraction thereof	The number of parking spaces in each lot is needed	7 existing trees	Unknown

In response to our previous recommendation that the nine (9) Otto Luken English shrubs in front of the southwest façade of the proposed pavilion should be replaced with a plant material hardy to Dexter

Township, the applicant has proposed nine (9) Ilex Crenata ‘Steeds’ or ‘Steeds Holly’ to take their place. This revision will provide adequate screening and will likely fare better in the long term.

Per recommendation of CWA and under allowance of Section 20.08, the Planning Commission chose to waive the provisions of Article 20 in order to preserve the significant views of agricultural fields on the subject site and adjacent properties.

The Final Site Plan includes a landscape plan prepared and stamped by a landscape architect licensed by the State of Michigan. The plan now lists the location, size, and conditions, including common and scientific names, for existing trees and plant materials to be preserved; and the proposed methods of protecting the plant material to remain during construction, including the type and location.

An additional note was included in the Final Site Plan to concretely state that no tree removal is proposed on-site. Further, a landscaping maintenance plan has been included that includes a statement that all diseased, damaged, or dead plant materials shall be replaced in accordance with the standards of Article 20 of the Dexter Township Zoning Ordinance.

Items to be addressed: None.

ACCESS, DRIVEWAYS, AND CIRCULATION

The access, driveways, and circulation are not proposed to change. The circulation arrangement and internal circulation meet the site plan decision criteria in Table 27.2.

Items to be addressed: None.

PARKING

The table below summarizes the required and proposed number of vehicular parking spaces per Table 18.1, using the maximum number of guests as eighty (80) per the number of seats shown on the submitted floor plans:

	Required	Proposed	Compliance
Minimum <i>Special Event Facility</i> 1 space for every 2 seats of capacity; plus 1 space per employee	80 seats/2 + 15 employees = 55 = 55 parking spaces	126 spaces on subject site 15 spaces on associated Webster Twp parcels Total: 141 spaces	Complies

No changes are proposed for the existing off-street gravel parking lots or maneuvering lanes. The Planning Commission decided during the preliminary site plan review to allow the gravel surfacing. A maintenance agreement, approved by the Township Attorney, must be signed by the applicant and owners, and recorded with the County Registrar of Deeds prior to the issuance of a building permit.

Items to be addressed: Township Attorney approval of maintenance agreement to be signed by the applicant and owners and then recorded with the County Registrar of Deeds.

LOADING

Section 18.05 requires that every structure or use that is established, changed, or expanded that customarily receives or distributes goods or materials by motor vehicle provides an off-street loading space. An off-street loading space is shown on the site plan.

Items to be addressed: None.

SOIL EROSION CONTROL, UTILITIES & STORMWATER MANAGEMENT

We defer to the Township Engineer on these items.

Items to be addressed: None.

LIGHTING

New lights have not been proposed as part of this development. A lighting plan is attached to the Electrical Site Sheets of the Architectural Plans and all site lighting is to remain as existing.

Items to be addressed: None.

PRIVACY

A site plan decision criterion for preliminary site plan review listed in Table 27.2 is that the site shall be arranged to provide reasonable visual, sound, and light privacy for all dwelling units located on it and in the surrounding area. The proposed building additions are arranged in a manner to provide reasonable privacy. The replacement of the tent with the pavilion should lessen visual, sound, and light impacts.

Items to be addressed: None.

WASTE RECEPTACLES AND ENCLOSURES

Waste receptacles are located on the northernmost Webster Township lot. Waste receptacles meet the standards in Section 16.23 of the Township Zoning Ordinance.

Items to be addressed: None.

SIGNS

No changes or additional signage is proposed.

Items to be addressed: None.

HAZARDOUS MATERIALS

No hazardous materials are proposed on site or are typically associated with the proposed use.

Items to be addressed: None.

RECOMMENDATIONS

If the Planning Commission approves the final site plan, we recommend the following conditions be placed on that approval:

1. The Zoning Ordinance is amended to allow at least two percent (2%) building coverage on a lot greater than five (5) acres zoned Rural Residential.
2. A maximum of seventy-five people per event.
3. Hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day.
4. A temporary zoning permit, as outlined in §16.33 Temporary Structures and Uses, shall be required for each special event requiring a temporary structure or where the expected number of guests exceeds the maximum number of guests of 75 as described on an approved site plan.
5. Approval by Dexter Area Fire Department.
6. Approval of the gravel parking lot maintenance agreement by the Township Attorney.
7. A signed gravel parking lot maintenance agreement is filed with the County Registrar of Deeds before issuance of any building permits.

Respectfully submitted,



CARLISLE/WORTMAN ASSOC., INC.
Megan Masson-Minock, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Grayson Moore
Community Planner

December 14, 2023

Megan Masson-Minock, AICP
Planning and Zoning Department
Dexter Township
6880 Dexter-Pinckney Road
Dexter, MI 48130

RE: 8540 Island Lake Road – Cornman Farms
Final Site Plan Review (#2)
OHM Job#: 0027-23-1000

Dear Ms. Masson-Minock:

We have completed the final site plan review for the above referenced project. The plans were prepared by Stonefield Engineering and Design with a plan date of December 6, 2023. The plans were reviewed with respect to Dexter Township Ordinances.

GENERAL INFORMATION

Property Owner: Tabitha Mason, Corn Man, LLC
Property Address: 8540 Island Lake Road, Dexter Township, MI 48130
Revision Date: December 6, 2023
Location: North of Island Lake Road and west of Dexter Pinckney Road
Action Requested: Final Site Plan Review

PROJECT AND SITE DESCRIPTION

This project consists of six renovations to the existing Zingerman's Corman Farms, an event space in Dexter Township. The project proposes an enclosed walkway from the farmhouse to the red barn, an addition to the red barn, a pavilion and patio, a garden amphitheater, a covered walkway from the traffic circle to the red barn, and a renovation of existing interior storage space in the red barn.

Storm sewer is proposed to capture runoff and route it to an existing basin at the southwestern portion of the event venue. Existing storm water management infrastructure consists of two (2) culverts under the driveway and parking area and one (1) outlet control structure in the existing basin. Existing sanitary sewer will be impacted by the proposed improvements on-site. The applicant proposes to install a new sanitary sewer alignment and connect to the existing septic field.



SITE PLAN COMMENTS

The applicant has addressed the three “Site Plan Review” comments from our first letter (dated November 15, 2023). At this time we have no further site plan review comments and we recommend the plans for approval.

PRELIMINARY DETAILED ENGINEERING COMMENTS

The following comments should be addressed by the applicant during the detailed engineering drawing submittal, but do not affect the recommendation for approval to the Planning Commission.

1. Stormwater flow velocity for closed pipes shall be between 3 FPS (minimum) to 10 FPS (maximum)
2. Verify the first flush volume. First flush volume is calculated by multiplying one inch of rain by the area and the composite C-factor.

$$V_{ff} = (1'') (1'/12'') (43,560 \text{ sq ft}/1 \text{ ac}) (\text{Area in acres}) (C\text{-factor})$$

REQUIRED PERMITS & APPROVALS

The following outside agency reviews and permits will be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the Township and this office.

- The Washtenaw County Health Department may require review and approval prior to construction.
- The Chelsea Area Construction Agency will require review and approval prior to construction.
- The Dexter Area Fire Department will require review and approval prior to construction.
- Other permits/approvals/etc. may be required.

The applicant is advised that review and approval of detailed engineering plans is required prior to start of construction. It is noted that additional comments may be generated from information presented in future submittals. If you have any questions, please contact us at (734) 466-4506.

Sincerely,
OHM Advisors

Rachel Jackson, P.E.

M.C. Moritz, E.I.T.

cc: Karen Sikkenga, Township Supervisor
Michelle Stamboulellis, Township Clerk
Ashely Cepeda, Township Zoning Officer
Bradley DeVries, A.I.A., Slowtide Studio, 1145 W Long Lake Road, Suite 110, Bloomfield Hills, MI 42302
Mitch Harvey, Stonefield Engineering & Design, 607 Shelby Suite 200, Detroit, MI 48226



DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130

TELEPHONE: 734-426-3767
FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

KAREN SIKKENG
SUPERVISOR
MICHELLE
STAMBOULELLIS
CLERK
MARIS METZ
TREASURER
GRETCHEN DRISKELL
LAURA SANDERS
LONNIE SCOTT
KAREN NOLTE
TRUSTEES

To: Dexter Township Planning Commission
From: Karen Sikkenga, Dexter Township Supervisor
Re: Zoning Ordinance Changes
Date: January 5, 2023

This month's agenda will include consideration of two changes to the Zoning Ordinance. These proposed changes will correct errors and inconsistencies in the language of the existing ordinances. I expect these to be the first of several public hearings on proposed Zoning Ordinance changes in the coming months.

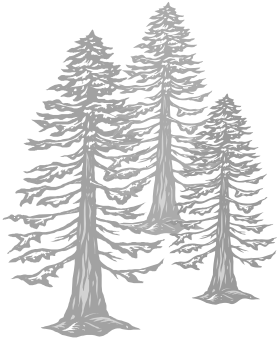
The current Dexter Township Zoning Ordinance, a comprehensive revision of the previous ordinance, was approved by the Board of Trustees in October 2020. Typically, when a comprehensive revision of a set of laws is enacted, unintentional errors, inconsistencies, and lack of clarity are noted and corrected over time through the legislative process. Today's public hearings are the first step in that legislative process.

Much work is occurring in the background to allow us to bring these proposed changes forward. At my request, our professional planning staff and consultants have been auditing the Zoning Ordinance. Beckett & Raeder, our Master Plan consultant, has reviewed the ZO and recommended changes. Our staff and Executive Committee (Clerk, Treasurer, and Supervisor) have consulted with residents, the Zoning Board of Appeals, the Chelsea Area Construction Agency, and prior staff to identify opportunities to improve the ZO and our internal processes. Our goal is to eliminate purposeless cost and inconvenience for our residents, without compromising the intent of the Master Plan. The two items for your consideration this month are examples of revisions that will help everyone.

Our staff will make every effort to provide you and the public with good information to help you understand the proposed changes and make good decisions. If there's anything I or staff can do to help make these policy decisions more clear, please don't hesitate to reach out to me (supervisor@dextertownship.org) or Planning Consultant Megan Masson-Minock (dpz@dextertownship.org).

Meanwhile, you should expect that the Planning Commission will be meeting every month for the next few months. I would be happy to attend a future Planning Commission meeting if you would like to discuss this topic or anything else.

cc Dexter Township Board of Trustees



DEXTER TOWNSHIP

6880 DEXTER-PINCKNEY ROAD

DEXTER, MI 48130

TELEPHONE: 734-426-3767

FAX: 734-426-3833

WWW.DEXTERTOWNSHIP.ORG

"A Community For All Seasons"

MEMORANDUM

To: Dexter Planning Commission

From: Megan Masson-Minock, Township Planning Consultant

Subject: Draft Zoning Amendments

Date: January 16, 2024

At its November 28, 2023 meeting, the Planning Commission reviewed the Zoning Audit conducted by CWA. To move that work forward, we have listed below Zoning Ordinance amendments that we feel are a priority.

Zoning Permits

Table 25.1 of the Zoning Ordinance lists construction activities that require a zoning permit, in addition to some that do not require a permit. We recommend removing items from Table 25.1 for the following reasons:

- A zoning permit is not required elsewhere in the Zoning Ordinance
- We have been advised by the Chelsea Area Construction Agency that a zoning permit is not necessary.
- We find the permit requirement to be overly burdensome, or
- There is no corresponding regulation in the Zoning Ordinance to support the requirement.

We recommend that Table 25.1 be amended as follows:

STRUCTURE, USE, OR ACTIVITY ^(A)	PERMIT REQUIRED
Building, accessory- such as sheds, garages, pole barns, or gazebos	Zoning permit Required
Building, addition	Zoning permit Required
Building, new	Zoning permit Required
Building, temporary	Zoning permit Required
Commercial use, new	Zoning permit Required
Bus stop shelter	Zoning permit Required No permit ^(B,C)

STRUCTURE, USE, OR ACTIVITY ^(A)	PERMIT REQUIRED
Deck, porch, patio	Zoning permit Required
Demolition or razing of a building	
Driveway or sidewalk, impervious	Zoning permit Required
Fence or retaining wall	Zoning permit Required
Driveway or sidewalk, pervious	No permit ^(B,C)
Fence, agricultural	No permit ^(B,C)
Flagpole, 27 feet high or less	No permit ^(B,C)
Group day care home or group foster care home	Zoning permit Required
Flagpole, more than 27 feet high	Zoning permit Required
All exterior lighting in non-residential districts	Zoning permit Required
Generator or heat pump	Zoning permit Required
Home occupation	Zoning permit Required
Hunting blind	No permit ^(B,C)
Outdoor furnace	Zoning permit Required
Propane tank- more than 100-gallon capacity	Zoning permit Required
Play equipment, single-family or two-family	No permit ^(B,C)
Play equipment, multiple-unit or other	Zoning permit Required
Pool or hot tub	Zoning permit Required
Remodel, exterior- no increase to the building coverage, such as reroofing, siding, windows, and doors	Zoning permit Required No permit^(B,C)
Remodel, interior- structural changes but no increase of building coverage	Zoning permit Required No permit^(B,C)
Remodel, mechanical improvements, such as electrical, plumbing, furnace	No permit ^(B,C)
Roadside stand	Zoning permit Required
Satellite dish, antenna, ham radio	No permit ^(B,C)
Sign, permanent	Zoning permit Required
Sign, temporary	No permit ^(B,C)
Special event	Zoning permit Required
Temporary use	Zoning permit Required

- A. **Interpretation:** If a specific structure, use, or activity that is not listed in Table 25.1 Permits and Approvals is proposed, the Director of Planning and Zoning shall determine if that structure, use, or activity is substantially similar in character and impact to any of the listed structures, uses, or activities listed in Table 25.1 Permits and Approvals, and it shall then be subject to the same permit and plan standards as that similar listed structure, use, or activity.
- B. **Additional Permits Required:** Additional permits may be required from different entities, including, but not limited to, building permits, well permits, septic permits, sewer approval, and natural river permits, as outlined in Section 25.05 Additional Approvals.
- C. **Standards Still Apply:** Even though a zoning permit may not be required, the structure, use, or activity shall still comply with all the applicable standards and provisions of this Ordinance.

The previous Zoning Ordinance, specifically Ordinance No. 34 amended effective November 8, 2018, required zoning permits for the following activities: clearing or excavation; and erection, alterations, movement or structural alterations of any building or structure (including but not limited to porches,

decks, patios, sidewalks, fences, swimming pools, courts, driveways, or terraces). We feel that the previous language is too broad, and could be seen to require a zoning permit for interior renovations or window replacement. We recommend that a zoning permit only be required for activities regulated by the Zoning Ordinance, such as setbacks or land uses.

Requested Action: Define language for a text amendment to remove zoning permits requirements from the Zoning Ordinance that are not necessary and create an undue burden for Township residents and businesses. If appropriate, set a date for a public hearing.

Article 4 – Title

The title of Article 4 is "Schedule of Regulations", which traditionally means a table of setbacks, height and other bulk regulations by Zoning District. However, Article 4 does not provide that information, but rather a listing of uses and whether and how they are allowed in each zoning district. The title of "Schedule of Uses" or "Uses Permitted by Zoning District" would be more easily understood. The proposed amendment would be:

Article 4. Schedule of ~~Regulations~~ **Uses**

The previous Zoning Ordinance, specifically Ordinance No. 34 amended effective November 8, 2018, had a "Schedule of Regulations" which regulated by zoning district: minimum lot area, lot width, lot frontage, and yard setbacks; and maximum building height and lot coverage. In the 2020 Zoning Ordinance, these regulations were moved into each Zoning District Article.

Requested Action: Confirm change of title for Article 4. If appropriate, set a date for a public hearing.

Decisions of the Zoning Board of Appeals becoming Final

Section 29.05(G)1 currently states that decisions of the Zoning Board of Appeals (ZBA) become final "upon adoption of minutes or adoption of a resolution, whichever comes first, unless the Zoning Board of Appeals finds the immediate effect of the decision is necessary for the preservation of property or personal rights and shall so certify on the record." Applicants who have received variances have not been able to receive zoning and building permits for over a month and the ZBA has needed to meet to solely approve minutes due to this provision. The Michigan Zoning Enabling Act does not stipulate a time period for final decisions, only that decisions of the Zoning Board of Appeals are final and can only be appealed to Circuit Court.

In looking at similar language in other communities' Zoning Ordinances, we see three options:

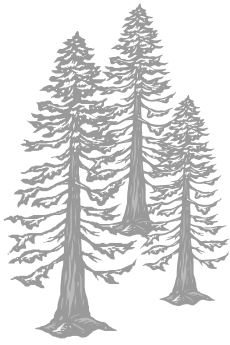
1. Delete item 2 from Section 29.05(G), not specifying when the decision is final.
2. Leave the text as is and direct staff to prepare a resolution for adoption for decisions by the ZBA.
3. Amend item 2 to specify a time period after which the decision of the ZBA becomes final.

The previous Zoning Ordinance, specifically Ordinance No. 34 amended effective November 8, 2018, contains the same language at the end of Section 4.25(J) as in currently in Section 29.05(G)1.

We recommend that the Planning Commission select one or more of the options above to be evaluated by the Township Attorney.

Next Steps

At your upcoming meeting, we would like you to review the draft ordinance amendments above, provide direction for any changes, authorize review by the Township Attorney of the proposed zoning ordinance amendment and notification of a public hearing at the Planning Commission meeting on February 27, 2024.



DEXTER TOWNSHIP

PLANNING COMMISSION

6880 DEXTER-PINCKNEY ROAD
DEXTER, MI 48130
TELEPHONE: 734-426-3767
FAX: 734-426-3833
WWW.DEXTERTOWNSHIP.ORG

MARTY STRAUB
CHAIR & ZBA REP.
BOB NESTER
VICE CHAIR
TOM LEWIS
SECRETARY
MARIS METZ
EX-OFFICIO TWP. BRD.
CHANDRA HURD
CHRISTINA MAIER
ALICIA ABBOTT
COMMISSIONERS

JANIS MILLER
RECORDING SECRETARY

REGULAR MEETING OF THE PLANNING COMMISSION

Tuesday, November 28, 2023

Present: Marty Straub, Chairperson, Bob Nester, Vice-Chair; Tom Lewis, Secretary; Chandra Hurd, Christina Maier, and Alicia Abbott. Absent: Maris Metz.

Also present: Rowan Brady, Consultant with Beckett & Raeder; Megan Masson-Minock, Carlisle Wortman Planner, Janis Miller, Recording Secretary.

1. **Call to Order:** Chairperson Straub called the meeting to order at 6:01 PM.
2. **Pledge of Allegiance:** Recited by all.
3. **Conflict of Interest:** No conflicts of interest.
4. **Approval of Agenda:**
With no additions or corrections, Chairperson Straub deemed the agenda approved as presented.
5. **Public Comment:** (non-agenda items) Opened 6:03 PM. No public comments.
6. **Public Hearings: Opened 6:03 PM**
 - A. Master Plan Public Hearing in accordance with the Michigan Planning Enabling Act.
Discussion: Consultant Rowan Brady clarified the commercial designation on the Esch property on Dexter-Pinckney Road. He reviewed current edits to the Master Plan (following) and answered questions of the commissioners.

Revisions from the Dexter Township Master Plan Public Hearing

- Correction: Multi-Lakes Sewer Authority services the Lakes in the northwest of the Township, an additional authority services the lakes in the northeast. Correct throughout the text.
- The acreage of Hudson Mills is cited differently throughout the text, clarify and correct.
- Spell out "level of service" when first mentioned, in the ToC, in the map title, and on the map
- Linden Township is misspelled on page 7, figure 3
- Add a footnote under the demographic tables that the Village of Manchester was incorporated on INSERT DATE OF INCORPORATION
- Soften the language regarding the demographic change on page 37 (dramatic/dwarfed)
- Add the years 2017 – 2022 on the tables on page 46
- Ensure consistent capitalization of "Complete Streets" on page 48
- Page 48, correct "18% of the"
- Page 52 correct "one of a kind" in the special note

- Page 57 Clarify who “their” refers to in the second to last sentence of the first paragraph of the second column
- Page 63 correct to “median household income”
- Revise the future land use map to align the neighborhood commercial land use designation along N. Territorial and Dexter – Pinckney Rd with the zoning classification.

Public Comment Opened 6:27 PM.

Wayne Esch, principal of commercial property in Dexter township.

He explained that the property belongs to ten siblings and that he and brother John are the trustees. The property was purchased by their father in 1984, or 1985, to build his retirement home, which was never constructed. They understand the township, and residents, don’t want a large commercial development or a strip mall so a Purchase of Development Rights (PDR) would satisfy the family financially. Wayne Esch and Consultant Brady answered questions from the commissioners.

Gretchen Driskell, member of the Farmland and Open Space Preservation Board.

She stated that the Land Preservation Board wanted to preserve this large parcel of land and wasn’t sure why it was zoned commercial. She was under the impression that the residents wanted less commercial development in the township and understands there is commercial value for this parcel. The land has been farmed and the question was, could it be designated farmland on the Future Land Use map.

Laura Sanders, Trustee and member of the Farmland and Open Space Board.

She stated that if this parcel was in a PDR, it could not be developed. The intent of the FOSP Board is to preserve the land.

Consultant Rowan Brady: Adding context, he said there were scales to commercial development and the Master Plan specifically states that neighborhood commercial, is shown in the Future Land plan as small, single site retail and service businesses that service local residents.

Planner Megan Masson-Minock: The Future Land Use map can be amended at any time. If the Township purchases the development rights to this commercially zoned property, then it would be appropriate to amend the future Land Use map at that time to Agriculture, and then to look at zoning.

Public Hearing on Master Plan Closed 7:02 PM.

- B. Cornman, LLC, Special Event Facility Site Plan and Special Use Amendment to replace event tent with building addition, with less floor area than the tent, enclosed walkway between the farmhouse and the red barn, and create an amphitheater.

Discussion: Planner Megan Masson-Minock introduced the project: The Special Use Amendment is to make it less intensive as they are adding a building that will replace the tent. They are adding a covered walkway between the house and the red barn as well as adding an open-air amphitheater. The septic field will not be expanded. The event space is part of a working farm.

Documents regarding the agenda items can be obtained at the Township Hall during normal business hours, the Townships website: www.dextertownship.org and can be viewed on ew.livestream.com/dextertownship.org.

Applicants Kieron Halb and Tabitha Masa, both co-owners; and developer Bradley Devries;

To make the operation more efficient they are reducing the maximum number of guests from 200 to 75, connecting two historic buildings with a covered walkway, and replacing the tent with an enclosed pavilion. They know and respect the neighborhood and have spoken with the neighbors regarding the permanent indoor space. The trio answered questions from the Planning Commission members.

Public Hearing on Cornman LLC Closed 7:42 PM.

7. Action Items:

A: Master Plan Recommendation to Township Board

Discussion: Review recommendations on the Esch property. Review changes requested by the Planning Commission. Planner Megan Masson-Minock suggested three alternatives: 1) table the decision until the January PC meeting and then make the recommendation, 2) if comfortable with the edits, make the recommendation to the Board of Trustees, or 3) recommend denial of the Master Plan.

Motion by Maier to recommend to the Township Board of Trustees, approval of the Dexter Township Master Plan with the modifications discussed at tonight's Planning Commission Public Hearing; designating, prior to transfer to the Board, verification of the modifications by PC member Maier, PC Chair Straub, and Recording Secretary Miller. Motion seconded by Lewis.

Roll Call Vote: Yeas – Abbott, Hurd, Lewis, Maier, Nester, Straub; Nays - None; Absent - Metz. Motion carried 6-0.

B: PSP23-PC-001: Preliminary site plan for Cornman, LLC, Special Event Facility

Discussion: Decision and findings not talked about: 1) incorporating more landscaping for buffering and screening, 2) design of the structure [pavilion] complementary to the historic agriculture residential character, 3) hours of operation and limiting activity to 12 consecutive hours, 4) maximum number of guests allowed, 5) keeping the gravel parking, and 6) identifying trees to save/remove (Chairperson Straub suggested #5 and #6 be addressed administratively).

Motion (stated by Planner Masson-Minock) to approve the preliminary site plan as presented based on the following: a) the Decision Criteria in §27.10 has been met, b) the design of the structures is of an agricultural or residential character that is complimentary to the historic rural character of the surrounding district, c) allowing an administrative adjustment to allow the buffer requirement as shown on the preliminary site plan, d) allowing an administrative adjustment to allow the gravel parking lot as shown, e) and for the final site plan the Planning Commission is waving the requirement for size, conditions, common scientific names of trees to be removed or preserved; subject to the following conditions: a) a maximum of seventy-five people per event, b) hours of operation will be 7AM to 11PM limited to 12 consecutive hours in one day, c) a temporary zoning permit, as outlined in §16.33 Temporary Structures and Uses, shall be required for each special event requiring a temporary structure or

Documents regarding the agenda items can be obtained at the Township Hall during normal business hours, the Townships website: www.dextertownship.org and can be viewed on ew.livestream.com/dextertownship.org.

where the expected number of guests exceeds the maximum number of guests described on an approved site plan, and d) the approval of a variance for the building coverage of the proposed additional buildings greater than 11,543 square feet. Motion so moved by Lewis and seconded by Abbott.

Roll Call Vote: Yeas – Abbot, Hurd, Lewis, Maier, Nester, Straub; Nays - None; Absent - Metz. Motion carried 6-0.

- C: PSP-PC-002: Special Land Use Amendment for Cornman, LLC, Special Event Facility
Discussion: Conditions in Section 28.08 have been met. Decision on hours of operation and number of events in a calendar year.

Motion (stated by Planner Masson-Minock) to approve an amendment to the Special Land Use Resolution (13-PC-147) acknowledging that all conditions of §28.08 have been met, and subject to the following conditions: a) hours of operation will be 7AM to 11PM, limited to 12 consecutive hours in one day, and b) the number of events limited to 265 in a calendar year. Motion so moved by Nester and seconded by Lewis.

Roll Call Vote: Yeas – Abbot, Hurd, Lewis, Maier, Nester, Straub; Nays - None; Absent - Metz. Motion carried 6-0.

8. Discussion Items:

A. Zoning Audit Report

Amendments will be presented at the January 2024 PC meeting with a Public Hearing at the February 2024 PC meeting.

B: Proposed Amendment to Section 29.06(C) Standards for Variance Review

Discussion: There is a need for a workable solution to the ZBA Decision Criteria #4 language using “reasonable” and “minimum”. Planner Masson-Minock stated that there is no case law for the word “reasonable” so it does not need to be in the ZBA decision criteria. This needs to be reviewed by the Township Attorney. Planning Commission Public hearing in January for an amendment to the Zoning Ordinance.

9. Approval of Planning Commission Minutes:

Moved by Nester, seconded by Maier, to approve the meeting minutes of October 24, 2023, as presented. All ayes. Motion carried.

10. Township Board of Trustees Update: No report.

11. Concerns of Commission Members, Director of Planning and Zoning, Supervisor, and Recording Secretary:

Chairperson Straub: He thanked Rowan Brady, a pleasure to work with, appreciated him pulling a lot of loose ends together and giving us a sense of direction.

Planner Megan Masson-Minock: She questioned whether the PC wanted to meet according to the Township 2024 Meeting Schedule – the May meeting is the day after Memorial Day [May 28] and the December meeting is Christmas Eve [December 24].

Documents regarding the agenda items can be obtained at the Township Hall during normal business hours, the Townships website: www.dextertownship.org and can be viewed on ew.livestream.com/dextertownship.org.

Chairperson Straub: The Board of Trustees needs to take this into consideration and move to alternate Tuesdays. He questioned how the Planning Commission Resolutions are numbered and kept.

Nester: Asked if the ZBA variance for Cornman Farms was noticed in the paper.

12. Public Comment: Opened 9:01 PM. No public comment.

13. Future Agenda Items: None at this time.

14. Adjournment:

Motion by Lewis, seconded by Nester, to adjourn. Meeting adjourned at 9:02 PM.

Respectfully submitted,

Tom Lewis, Secretary

Janis Miller, Recording Secretary